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PREPARED FOR

TRATON HOMES
720 KENNESAW AVE
MARIETTA, GA 30060

FINAL PLAT
WILDWOOD PLACE
SUBDIVISION
(FKA WESTPARK S/D)
SITUATED IN LAND LOTS 1024, 1049 & 1050
19th DISTRICT, 2nd SECTION
CITY OF POWDER SPRINGS
COBB COUNTY, GEORGIA



05 / 24 / 2024

SHEET RECORD

DATE	DESCRIPTION	ISSUED	COMMENTS
05/24/2024			
06/20/2024			

DRAWING INFORMATION

CAD FILE: 22083.10-FINAL-1.DWG
DRAWN BY: RPH CHECKED BY: CRM

SHEET NAME:

COVER



VICINITY MAP (NTS)

SURVEYOR'S NOTES

EQUIPMENT AND FIELD SURVEY STATEMENT
TYPE OF EQUIPMENT: TOPCON GTS-233W TOTAL STATION & SPECTRA PRECISION EPOCH 50 DUAL BAND GPS RECEIVER ON THE 6GPS NETWORK.
FIELD SURVEY COMPLETED: 11/02/2022

DATUM
HORIZONTAL: STATE PLANE GRID (NAD83 - GA WEST)
VERTICAL: MEAN SEA LEVEL (NAVD 88 - GEOID 12A)
ESTABLISHED BY GPS OBSERVATIONS.

PREDICTED POSITIONAL ERROR
+/- (0.03 + 1*10,000) HORIZONTAL
+/- (0.06 + 1*10,000) VERTICAL
BASED ON A COMBINATION OF GPS AND CONVENTIONAL TOTAL STATION ERROR ESTIMATES.

CLOSURE STATEMENT
THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED WAS ADJUSTED USING LEAST SQUARES. THE RELATIVE POSITIONAL PRECISION OF ALL MEASURED PROPERTY MONUMENTS SHOWN AS PART OF THIS SURVEY ACHIEVE THE 95% CONFIDENCE LEVEL (2 STANDARD DEVIATIONS).

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN:

WESTPARK PLACE S/D CLOSURE: 1:XXX,XXX

FLOOD ZONE
BASED ON GRAPHICAL INTERPRETATION THIS PROPERTY IS SITUATED IN UNSHADED FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN) AND A SHADED ZONE "A" (AREAS WITH BASE FLOOD ELEVATIONS DETERMINED) AS DEPICTED ON NFIP FLOOD INSURANCE RATE MAPS. USER OF THIS MAP IS CAUTIONED THAT A MORE PRECISE FLOOD DELINEATION MAY BE NEEDED TO VERIFY THIS INFORMATION. (F.E.M.A MAP REVISIONS, IF ANY, ARE NOT ADDRESSED AS PART OF THIS SURVEY)

ZONING
ZONING SHOWN HEREON IS BASED ON ZONING CASE PZ #22-003 AND IS SHOWN FOR INFORMATION ONLY. SURVEYOR MAKES NO WARRANTY AS TO THE EFFECT OF ZONING TO THE CURRENT OR FUTURE USE OF THE SUBJECT PROPERTY. USER OF THIS MAP IS HEREBY CAUTIONED TO CONSULT THE APPROPRIATE GOVERNING BODY FOR FINAL INTERPRETATION CONCERNING ZONING.

TITLE
THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT ABSTRACT OF TITLE. THEREFORE THERE MAY BE OTHER RESTRICTIONS, EASEMENTS, SETBACKS, AGREEMENTS OR OTHER SIMILAR MATTERS NOT SHOWN HEREON. ALL MATTERS OF TITLE ARE EXCEPTED.

IMPROVEMENTS
ONLY NON-MOBILE AND SUBSTANTIAL "MAN MADE" SURFACE STRUCTURAL IMPROVEMENTS ARE SHOWN HEREON. FEATURES SUCH AS STREAMS, DRAINAGE COURSES, OR VEGETATION ARE NOT SHOWN UNLESS THEY FORM PART OF THE BOUNDARY LIMITS. CAUTION - FEATURES SHOWN INSIDE ROAD RIGHT-OF-WAY LIMITS ARE FOR INFORMATION ONLY AND MAY OR MAY NOT COMPRISE ALL IMPROVEMENTS OR UTILITIES.

UTILITIES
UNDERGROUND UTILITIES THAT ARE SHOWN HEREON ARE BASED UPON FIELD SURFACE OBSERVATIONS. COBB COUNTY & POWDER SPRINGS GIS DATA AND AVAILABLE INFORMATION ON HAND AT THE TIME OF THE SURVEY. ONLY UTILITIES THAT WERE VISIBLE AND ACCESSIBLE WERE MEASURED. DUE TO STATE AND FEDERAL RULES REGULATING CONFINED SPACES, THE INFORMATION SHOWN WITH REGARD TO INVERT ELEVATIONS AND PIPE SIZES WAS OBTAINED FROM MEASUREMENTS MADE AT THE SURFACE. THESE MEASUREMENTS SHOULD BE CONSIDERED APPROXIMATE AND SUBJECT TO CONTRACTOR VERIFICATION. SITE EXCAVATION WAS NOT PERFORMED IN ANY WAY TO MEASURE ANY SUBSURFACE UTILITY OR FEATURE OF ANY TYPE. NOTICE IS HEREBY GIVEN THAT "GEORGIA ONE CALL" UTILITY LOCATION SERVICE (1-800-282-7411) SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION OF THE SITE.

STREAMS, BODIES OF WATER, & WETLANDS
ALL STREAMS, BODIES OF WATER, AND WETLANDS MAY BE SUBJECT TO STATE, COUNTY, AND LOCAL BUFFERS OR RESTRICTIONS. SURVEYOR MAKES NO INTERPRETATION REGARDING THESE BUFFERS OR RESTRICTIONS. USER OF THIS MAP IS CAUTIONED TO CONSULT WITH THE APPROPRIATE GOVERNING AUTHORITIES CONCERNING POSSIBLE BUFFERS OR RESTRICTIONS.

ARCHAEOLOGICAL & HISTORIC
UNLESS SHOWN HEREON, NO CEMETERIES, ARCHEOLOGICAL, OR ARCHITECTURAL LANDMARKS ARE KNOWN TO EXIST ON THIS SITE. HOWEVER, SURVEYOR HAS NOT EXCAVATED THE SITE OR CONSULTED WITH A QUALIFIED PROFESSIONAL IN THIS FIELD FOR ABSOLUTE CONFORMANCE.

REFERENCE INFORMATION
CONSTRUCTION PLANS FOR "WESTPARK PLACE" PERFORMED BY RIDGE PLANNING AND ENGINEERING, STAMPED AND SEALED BY JOHN ROBERT MORGAN (GA PE #25938), DATED NOVEMBER 18, 2022 AND LAST REVISED MAY 15, 2023

LEWIS ROAD COMBINATION PLAT FOR OGLESBY ROAD GROUP, LLC AND LEWIS ROAD DEVELOPMENT, LLC, PERFORMED BY MITCHELL SURVEYING AND CONSULTING (LSF # 1191), STAMPED AND SEALED BY CHARLES R. MITCHELL (GA RLS #3240), DATED SEPTEMBER 21, 2023 AND LAST REVISED NOVEMBER 13, 2023. RECORDED IN PLAT BOOK 282, PAGE 427-430 IN COBB COUNTY SUPERIOR CLERK OF COURTS.

DEVELOPMENT STANDARDS SUMMARY CHART

ZONING		
Present Zoning	=	PUD-R (PLANNED URBAN DEV)
Proposed Use	=	Single-Family Residential
Zoning Ordinance	=	Case PZ #22-003 (Sheet 2)
AREA		
Overall Site Area	=	13.81 Acres
R/W Dedication	=	2.231 Acres
SETBACKS		
Perimeter (Buffer)	=	35 Feet
Front (from ROW)	=	15 Feet
Side	=	0 Feet
Rear	=	20 Feet
Between Bldgs (Min.)	=	15 Feet

WATER AND SANITARY SEWER SERVICES ARE PROVIDED THROUGH THE COBB COUNTY WATER AND SEWER SYSTEMS AND SYSTEM TIE-INS ARE SHOWN ON THE AS-BUILT RECORD DRAWINGS SUBMITTED TO COBB COUNTY

UTILITY CONTACT INFORMATION
(TAKEN FROM CONSTRUCTION PLANS)

UTILITY	COMPANY	TELEPHONE
POWER	COBB EMC	[REDACTED]
WATER	CCWS	[REDACTED]
SEWER	CCWS	[REDACTED]
GAS	ATLANTA GAS & LIGHT	[REDACTED]
TELEPHONE	AT&T	[REDACTED]
CABLE	COMCAST	[REDACTED]

COBB COUNTY PERMIT #SPR-2022-00516
POWDER SPRINGS PERMIT #22PDR-LDP00016

SHEET INDEX

SHEET	COVER
SHEET 1	- COVER
SHEET 2	- NOTES
SHEET 3	- TABLES
SHEET 4	- PLAN
SHEET 5	- PLAN

FINAL PLAT

FOR

WILDWOOD PLACE SUBDIVISION

(FKA WESTPARK PLACE)

SITUATED IN LAND LOTS 1024, 1049 & 1050
19th DISTRICT, 2nd SECTION
CITY OF POWDER SPRINGS
COBB COUNTY, GEORGIA

STORMWATER MANAGEMENT FACILITY CERTIFICATION

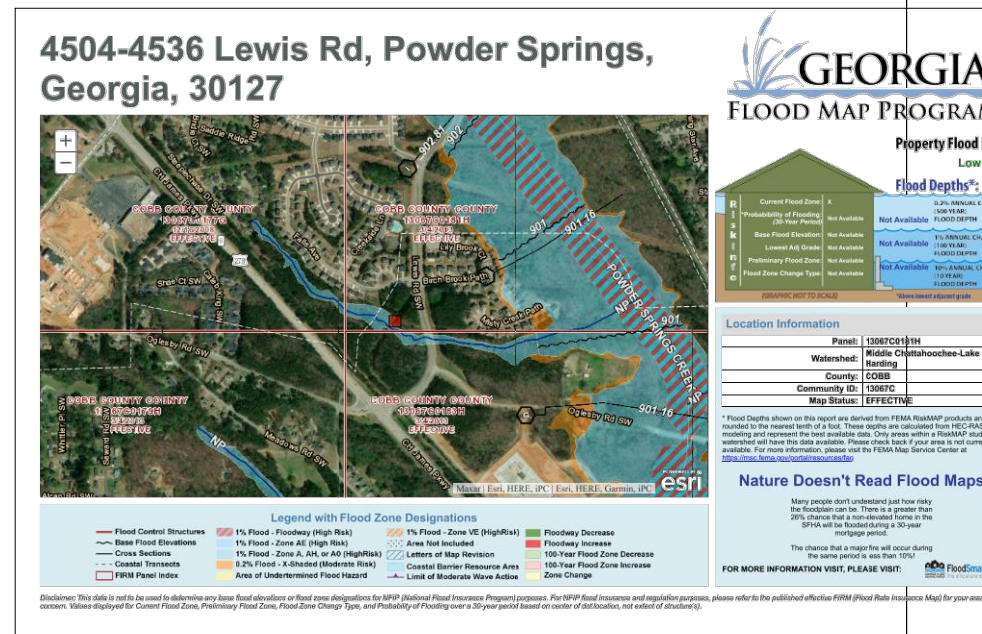


FLOODPLAIN NOTES:

- FLOODPLAIN REPORT: "HYDRAULIC ANALYSIS REPORT - LEWIS ROAD SUBDIVISION", DATED MARCH 10, 2023 BY RIDGE PLANNING & ENGINEERING.
- TOPOGRAPHIC DATA WAS BASED ON A FIELD RUN SURVEY BY MITCHELL SURVEYING & CONSULTING, LLC DATED 11/14/2022.

COBB COUNTY WATER SYSTEM NOTES:

- NO PERMANENT STRUCTURES SHALL BE CONSTRUCTED WITHIN TEN (10') FEET OF THE EDGE OF A PERMANENT COBB COUNTY WATER OR SANITARY EASEMENT ON FRONT OR REAR SETBACKS, OR WITHIN TWO (2) FEET ON SIDE SETBACKS, PER COUNTY CODE 122-123.
- WATER METERS SHALL NOT BE INSTALLED BEHIND ENCLOSED FENCES. IN PAVED DRIVEWAYS OR IN PAVED PARKING AREAS PER COUNTY CODE SEC. 122-125.
- PAVEMENT CUTS BY CCWS FOR MAINTENANCE OF WATER AND/OR SEWER LINES WILL BE REPAIRED PER COBB COUNTY STANDARD DETAIL 02510-2.



OWNER / DEVELOPER:
TRATON HOMES
720 KENNESAW AVE
MARIETTA, GA 30060

LAND SURVEYOR:
MITCHELL SURVEYING & CONSULTING
3201 SOUTH CHEROKEE LANE, STE 310
WOODSTOCK, GA 30188

GENERAL CONTRACTOR:
INTEGRITY CONSTRUCTION MANAGEMENT
1690 OLD 41 HWY NW
MARIETTA, GA 30064

CIVIL ENGINEER:
RIDGE PLANNING AND ENGINEERING
6234 OLD HWY 5, STE D9-250
WOODSTOCK, GA 30188

ARTICLE 10, SEC 10-17 (C):
10-17(C) HEATING AND AIR CONDITIONING EQUIPMENT. ALL HEATING AND AIR CONDITIONING EQUIPMENT AND COMPONENTS (INCLUDING DUCTWORK), ALL ELECTRICAL, VENTILATION, PLUMBING, AND OTHER SERVICE FACILITIES SHALL BE DESIGNED AND/OR LOCATED 3 FEET ABOVE THE BASE FLOOD ELEVATION OR 1 FOOT ABOVE THE FUTURE-CONDITIONS FLOOD ELEVATION, WHICHEVER IS HIGHER, SO AS TO PREVENT WATER FROM ENTERING OR ACCUMULATING WITHIN THE COMPONENTS DURING CONDITIONS OF FLOODING.

ARTICLE 10, SEC 10-42 (M):
10-42(M) ALL APPROPRIATE CERTIFICATIONS REQUIRED UNDER THIS ARTICLE. THE APPROVED FLOODPLAIN MANAGEMENT/FLOOD DAMAGE PREVENTION PLAN SHALL CONTAIN CERTIFICATION BY THE APPLICANT THAT ALL DEVELOPMENT ACTIVITIES WILL BE PERFORMED ACCORDING TO THE PLAN OR PREVIOUSLY APPROVED REVISIONS.

CERTIFICATE OF FINAL PLAT APPROVAL (CITY OF POWDER SPRINGS, COBB COUNTY, GEORGIA):
ALL APPLICABLE REQUIREMENTS OF THE POWDER SPRINGS UNIFIED DEVELOPMENT CODE RELATIVE TO FINAL PLATS HAVING BEEN FULFILLED, APPROVAL OF THIS IS HEREBY GRANTED BY THE POWDER SPRINGS DIRECTOR OF COMMUNITY DEVELOPMENT AND IS ENTITLED TO BE RECORDED.

DIRECTOR OF COMMUNITY DEVELOPMENT _____ **DATE** _____

DIRECTOR OF PUBLIC WORKS _____ **DATE** _____

MAYOR, CITY OF POWDER SPRINGS _____ **DATE** _____

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY MADE ON THE GROUND UNDER MY SUPERVISION, THAT THE MONUMENTS HAVE BEEN PLACED AS SHOWN HEREON, AND IS TO THE ACCURACY AND SPECIFICATIONS REQUIRED BY THE CITY OF WOODSTOCK LAND DEVELOPMENT ORDINANCE.

[Signature] **05.24.2024**
REGISTERED GA LAND SURVEYOR NO. _____ **DATE** _____

SURVEYOR'S ACKNOWLEDGMENT AND CERTIFICATION
I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY MADE ON THE GROUND UNDER MY SUPERVISION, THAT THE MONUMENTS HAVE BEEN PLACED AS SHOWN HEREON, AND IS TO THE ACCURACY AND SPECIFICATIONS REQUIRED BY THE CITY OF WOODSTOCK DEVELOPMENT STANDARDS.

AND

AS REQUIRED BY SUBSECTION (d) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

[Signature] **05.24.2024**
GEORGIA REGISTERED LAND SURVEYOR PLS # 3240 _____ **DATE** _____

AND FURTHER, I WARRANT THAT I OWN FEE SIMPLE TITLE TO THE PROPERTY SHOWN HEREON AND AGREE THAT THE CITY OF POWDER SPRINGS AND COBB COUNTY SHALL NOT BE LIABLE TO ME, MY HEIRS, SUCCESSORS, OR ASSIGNS FOR ANY CLAIMS OR DAMAGES RESULTING FROM THE CONSTRUCTION OR MAINTENANCE OF GROSS DRAIN EXTENSIONS, DRIVES, STRUCTURES, STREETS, CULVERTS, CURBS, OR SIDEWALKS, THE CHANGING OF COURSES OF STREAMS AND RIVERS, FLOODING FROM NATURAL CREEKS AND RIVERS, SURFACE WATERS, AND ANY OTHER MATTER WHATSOEVER. I FURTHER WARRANT THAT I HAVE THE RIGHT TO SELL AND CONVEY THE LAND ACCORDING TO THIS PLAT AND DO HEREBY BIND OWNERS AND MYSELF SUBSEQUENT IN TITLE TO DEFEND BY VIRTUE OF THESE PRESENTS.

OWNER OR DULY AUTHORIZED AGENT _____ **DATE** _____

OWNER'S ADDRESS _____ **CITY** _____ **STATE** _____

FOR USE BY SUPERIOR CLERK OF COURT

LEGEND

MEASUREMENT NOTE
DIMENSIONS ENCLOSED BY "1" ARE RECORD AND NOTED IN THE "RECORD DOCUMENT INDEX." ALL OTHER DIMENSIONS ARE ACTUAL BASED ON FIELD MEASUREMENTS.

EXAMPLE:
(135.26') - RECORD DIMENSION

ABBREVIATIONS
AC = ACRE
ASPH = ASPHALT
BSL = BUILDING LINE
BOC = BACK OF CURB
CB = CHORD BEARING
CH = CHORD
CONC = CONCRETE
CMP = CORRUGATED METAL PIPE
DB = DEED BOOK
DE = DRAINAGE EASEMENT
DIP = DUCTILE IRON PIPE
ELEV = ELEVATION
ESMT = EASEMENT
FFE = FINISHED FLOOR ELEVATION
HW = HEAD WALL
IE = INVERT ELEVATION
JB = JUNCTION BOX
L = ARC LENGTH
HC = HANDICAPPED
NF = NOW OR FORMERLY
OCS = OUTLET CONTROL STRUCTURE
PB = PLAT BOOK
PG = PAGE
PID = TAX PARCEL IDENTIFICATION NUMBER
POC = POINT OF COMMENCEMENT
POB = POINT OF BEGINNING
PVC = POLYVINYL CHLORIDE PIPE
R = RADIUS
RCP = REINFORCED CONCRETE PIPE
RW = RIGHT-OF-WAY
SF = SQUARE FEET
SPG = STATE PLANE GRID
SSE = SANITARY SEWER EASEMENT
W = WATER EASEMENT

ELEVATIONS
+ 808.17' - SPOT ELEVATION

SYMBOL KEY

- ⊙ - BOLLARD
- ⊕ - CABLE TV PEDESTAL
- ⊙ - CALCULATED POINT
- ⊕ - CATCH BASIN (SINGLE)
- ⊕ - CATCH BASIN (DOUBLE)
- Δ - CENTRAL ANGLE (DELTA)
- ☀ - CONIFEROUS TREE
- ⊕ - CURB INLET
- ☀ - DECIDUOUS TREE
- ⊕ - DROP INLET
- ⊕ - ELECTRICAL MANHOLE
- ⊕ - ELECTRIC METER
- ⊕ - ELECTRICAL TRANSFORMER
- ⊕ - FIRE HYDRANT
- ⊕ - GAS VALVE
- ⊕ - GAS METER
- ⊕ - GAS PEDESTAL
- ⊕ - GUY ANCHOR WIRE
- ⊕ - HEADWALL
- ⊕ - JUNCTION BOX MANHOLE
- ⊕ - LAND LOT NUMBER
- ⊕ - LIGHT POLE
- ⊕ - LOT NUMBER
- ⊕ - MAIL BOX
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- Ⓜ - WATER VALVE
- Ⓜ - YARD/GRATE INLET

Memorandum

Date: September 19, 2022.
To: Mayor and Council
From: Community Development
Subject: **PZ 22-003. Rezoning Request: Rezoning Request: Lewis / Oglesby Road. To consider rezoning from CRC to PUD-R, the property located at 4596 Lewis Road and 4401 Oglesby Road (portion) and C.H. James parkway, within the 19th District, 2nd Section, Land Lots 1049 and 1050, Cobb County, Georgia.**

Action:

A motion to APPROVE with the following conditions:

- The stipulations and conditions set forth herein shall replace and supersede in full any and all prior stipulations and conditions in whatsoever form which are currently in place concerning the property which constitutes the subject matter of the above-captioned Application for Rezoning. The rezoning is from CRC to PUD-R with total site acreage of approximately 12.7 acres.
- The Subject Property shall be developed in substantial conformity to that certain revised site plan the went through the external review process with TSW, prepared by Ridge Planning and Engineering dated 11/22/2021, last revised 08/16/2022. The Site Plan must be consistent with PUD-R regulations and all other applicable regulations identified in the Unified Development Code. The site plan shall be revised to include rear entry units for those units in the central green area, identified by unit numbers 53-58, and submitted for Administrative Review and Approval.
- The recreation areas shall feature premium amenities. Such area shall be developed with at least one recreational feature such as a pavilion, cabana, gazebo, picnic area, swimming pool, playground, or tennis courts; in addition to the walking trails. Recreational areas must be outside of any floodplain area. Any recreation area must be located in an area with a slope of less than 15%; however, all recreation areas or applicable green space must meet ADA requirements for accessibility.
- All areas located in the floodplain and undisturbed stream buffer shall be placed in a conservation easement.
- Maximum height of homes shall be 35'; and for three-story, rear-loaded homes, the maximum height of 35' shall be measured from the front grade to the average height between the eaves and ridge of a gable.

- The Community Development Director shall have the authority to approve minor modifications to these stipulations, the architectural renderings/elevations, the site plan and the overall proposal as it proceeds through the Plan Review process and thereafter except for those that:
 - Increase the density of the Residential Community.
 - Relocate a structure closer to the property line of adjacent property which is zoned the same or in a more restrictive zoning district.
 - Increase the height of a building which is adjacent to property which is zoned in the same or more restrictive zoning district.
 - Change access locations to different rights-of-way.
- Road frontages will be heavily and professionally landscaped which may include the use of berms, fencing, and substantial plant material to provide for visual screening. All perimeter and roadway buffer areas will either be owned by the HOA or deed restricted with maintenance easements in favor of the HOA.
- Perimeter fencing shall be required to buffer the detention pond area, at minimum. Fencing should not be of a wooden privacy fence type, unless approved by Administrative Design Review; and regardless, all fencing shall be subject to administrative design review and approval.
- Declarant or any builder construction homes within the proposed community must sell any such home for owner occupancy only. Thereafter, leasing of any units within the entire development, with a minimum lease term of one (1) year. The mandatory homeowners association must maintain records dealing with any lease within the development, and such records shall be subject to review by the City of Powder Springs personnel with regard to enforcement of this provision limiting the total number of leases within the development to no more than 5%. The homeowner association shall agree to provide, upon request to the City of Powder Springs, and all information relating to existing leases at the time of any such request by the City. The City shall be named a third-party beneficiary entitles to enforce this provision of the covenants.
- Traffic impacts will be reviewed as part of the LDP process. Applicant agrees to offsite improvements necessitated by this development. All streets shall be public streets.

So motioned, this 19th day of September 2022.

- The approval of following variance requests is included with the approval of the rezoning request to PUD-R:
 - Variance to Sec 12 -13 to waive requirement to maintain 75% of existing tree canopy.
 - Variance to allow minimum horizontal road centerline radius of 37 feet.
- All residential units shall have two-car garages, and the parking pads/driveway in front of the garage shall be greater than or = 22-feet in length.
- Front porches shall be a minimum of 6-feet deep, with a minimum total area of 40-square feet.
- To ensure uniformity and quality, fencing within the proposed community shall be controlled and maintained by the Homeowners' Association; except where individual residents have obtained prior approval by the Homeowners' Association and any individual fencing is of the same quality and style for purposes of uniformity. This limitation and provision shall be included in the Declaration of Covenants and Restrictions for the proposed community. Closed picket styled privacy fences shall be prohibited.
- The setback are as follows:
 - Front: 15 feet from right-of-way
 - Perimeter: 35 feet setback
 - Between buildings: Minimum of 15 feet
 - Design Review shall be conducted via Administrative Review.
- Units must be staggered to the extent required by code, they must provide some staggering or variation as approved by an Administrative Design Review.
- The architectural style and composition of the homes will be subject TSW review, and shall consist of traditional architecture on all sides, consistent with the product images submitted. Variety in the neighborhood will be provided using stone and different shades of brick, and by mixing front facades of 50% brick and 100% brick as shown in submitted product images. All side elevation will contain brick or stone no less than 50%, and fenestrations shall be required on all end units. All rear elevation will contain brick or stone no less than 50% where exposed to the right-of-way. All elevation will contain no less than 50% the front façade. An administrative design review will be required.

Attest: Kelly Axt, City Clerk

Albert Thurman
 Albert Thurman, Mayor

Patrick Bordelon
 Patrick Bordelon, Council Member

Doris Dawkins
 Doris Dawkins, Council Member

Patricia Wisdom
 Patricia Wisdom, Council Member

Henry Lust
 Henry Lust, Council Member

Dwayne Green
 Dwayne Green, Council Member

Powder Springs		Admin Variance
4181 Atlanta Street, Building 4, P.O. Box 46, Powder Springs, GA 30127	Phone: (770) 943-8001	23PDR-ADVAR00001

Date Issued: 04/24/2023	Property Owner: Traton Homes
Expiration Date: 10/21/2023	Mailing Address: 720 Kennesaw Ave
Job Site Address: 4596 Lewis Rd, Powder Springs, GA 30127	Marietta, GA 30060
Category: Zoning	
Permit Type: Admin Variance	

Description of Work:

- Reduce front setbacks on units 1-12 and 60-65. This is necessitated due to the rear loaded units having an overhang that extends over the driveway with posts that would be over the 15' building line.
- Reduce side setback on unit 47 due to the impervious setback and unit 1 due to the 35' perimeter setback not allowing the moving of the units west.

Parcel ID:	Required Setbacks:	Amount
19104900020		
Fee Items		
Miscellaneous Fee		\$ 100.00
Total Fees:		\$ 100.00

NOTICE

Any county or municipal building permit, construction permit, including but not limited to mechanical, plumbing, or electrical permits; if disconnect and reconnect is required for this permit please notify our office immediately with date of service to ensure proper coordination. Call (770) 943-1666. The issuance of this permit authorizes improvements of the real property designed herein which improvements may subject such property to mechanics' and materialmen's liens pursuant to Part 3 of Article 5 of Chapter 14 of Title 44 of the Official Code of Georgia Annotated. In order to protect any interest in such property and to avoid encumbrances thereon, the owner or any person with an interest in such property should consider contacting an attorney or purchasing a consumer's guide to the lien laws which may be available at building supply home centers.

Signature of Applicant/Date: Building Department Signature/Date
 [REDACTED] 04/19/2023

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PREPARED FOR

TRATON HOMES
720 KENNESAW AVE
MARIETTA, GA 30060

FINAL PLAT
WILDWOOD PLACE
SUBDIVISION
(FKA WESTPARK S/D)
SITUATED IN LAND LOTS 1024, 1049 & 1050
19th DISTRICT, 2nd SECTION
CITY OF POWDER SPRINGS
COBB COUNTY, GEORGIA



05 / 24 / 2024

SHEET RECORD

DATE	DESCRIPTION	ISSUED	COMMENTS
05/24/2024			
09/20/2024			

DRAWING INFORMATION

CAD FILE: 22083.10-FINAL-1.DWG
DRAWN BY: RPH CHECKED BY: CRM

SHEET NAME:

TABLES

OWNER / DEVELOPER:

TRATON HOMES
720 KENNESAW AVE
MARIETTA, GA 30060

GENERAL CONTRACTOR:

INTEGRITY CONSTRUCTION MANAGEMENT
1690 OLD 41 HWY NW
MARIETTA, GA 30064

CIVIL ENGINEER:

RIDGE PLANNING AND ENGINEERING
6234 OLD HWY 5, STE D9-250
WOODSTOCK, GA 30188

LAND SURVEYOR:

MITCHELL SURVEYING & CONSULTING
3201 SOUTH CHEROKEE LANE, STE 310
WOODSTOCK, GA 30188

FOR USE BY SUPERIOR CLERK OF COURT

LEGEND

MEASUREMENT NOTE
DIMENSIONS ENCLOSED BY "()" ARE RECORD AND NOTED IN THE "RECORD DOCUMENT INDEX" ALL OTHER DIMENSIONS ARE ACTUAL BASED ON FIELD MEASUREMENTS.

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(135.26') - RECORD DIMENSION

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ELEVATIONS
+ 808.17 - SPOT ELEVATION

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- ⊙ - BOLLARD
- ⊙ - CABLE TV PEDESTAL
- △ - CALCULATED POINT
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- Δ - CENTRAL ANGLE (DELTA)
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- ☀ - DECIDUOUS TREE
- ☀ - DROP INLET
- ⊙ - ELECTRICAL MANHOLE
- ⊙ - ELECTRIC METER
- ⊙ - ELECTRICAL TRANSFORMER
- ☀ - FIRE HYDRANT
- ☀ - GAS VALVE
- ⊙ - GAS METER
- ⊙ - GAS PEDESTAL
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- ⊙ - TELEPHONE MANHOLE
- ☀ - TRAFFIC POLE
- ☀ - UTILITY POLE
- ☀ - WATER METER
- ☀ - WATER VALVE
- ⊙ - YARD/GRATE INLET

Line Table		
Line #	Length	Direction
L1	13.39	S75°38'06"E
L2	23.05	N57°53'41"E
L3	17.31	N81°49'20"E
L4	15.84	S51°50'37"E
L5	23.13	S85°35'27"E
L6	2.88	S60°36'06"E
L7	16.40	N66°07'19"E
L8	26.78	S78°43'43"E
L9	31.69	N11°41'04"E
L10	13.79	N79°36'44"E
L11	13.67	S33°18'24"E
L12	31.05	S77°35'31"E
L13	5.47	N70°57'08"E
L14	13.29	N12°59'47"E
L15	17.67	N63°42'03"E
L16	24.74	S68°45'32"E
L17	37.21	S14°19'50"W
L18	24.31	S58°52'11"E
L19	13.27	S20°05'29"E
L20	25.73	S34°22'38"W
L21	21.80	S13°30'54"W
L22	30.64	S27°02'01"E
L23	12.49	N75°02'47"E
L24	10.18	S71°03'12"E
L25	11.50	S60°34'00"E
L26	18.31	S24°51'16"E
L27	38.50	S51°17'40"E
L28	36.97	S36°27'42"E
L29	14.11	S66°41'44"E
L30	23.02	N48°35'42"E

Line Table		
Line #	Length	Direction
L31	33.06	S56°55'09"E
L32	34.69	S7°25'05"E
L33	15.36	N89°56'32"E
L34	20.41	N49°20'19"E
L35	31.04	S63°05'15"E
L36	37.67	S12°00'30"E
L37	23.18	S36°43'51"E
L38	58.52	S71°44'19"E
L39	18.05	N62°11'39"E
L40	12.01	N42°11'09"W
L41	24.88	N60°55'50"W
L42	6.17	N26°01'40"W
L43	7.53	N22°34'54"E
L44	16.87	N74°15'31"E
L45	12.99	N71°59'48"E
L46	15.53	S44°05'09"E
L47	44.23	S21°33'51"E
L48	34.53	S67°35'17"E
L49	56.66	S65°53'09"E
L50	55.47	S31°12'00"E
L51	16.24	S83°23'23"E
L52	10.17	N48°14'15"E
L53	16.88	N44°53'57"E
L54	9.03	N81°51'30"E
L55	17.14	S7°31'57"E
L56	63.67	S74°24'22"E
L57	37.93	S54°51'17"E
L58	11.28	S88°18'14"E
L59	50.83	N64°53'59"E
L60	24.41	S73°30'16"E

Line Table		
Line #	Length	Direction
L61	20.35	S14°48'57"E
L62	41.17	S84°55'16"E
L63	46.10	S70°03'34"E
L64	41.17	S55°16'13"E
L65	22.66	S23°40'43"E
L66	15.20	S48°09'53"E
L67	24.50	S37°52'08"E
L68	56.86	S52°34'23"E
L69	26.70	S56°36'03"E
L70	24.03	S87°57'28"E
L71	50.09	S68°51'39"E
L72	29.09	S12°03'12"W
L73	30.34	S17°00'12"E
L74	21.00	N84°11'50"E
L75	16.10	N5°40'53"E
L76	20.12	S88°17'24"E
L77	45.84	N82°14'32"E
L78	37.98	S56°20'58"E
L79	21.00	S7°45'22"E
L80	20.32	S53°57'11"E
L81	8.35	N52°12'31"E
L82	1.35	S11°13'10"W
L83	242.59	N71°15'57"W
L84	191.61	N60°49'36"W
L85	57.63	N50°50'18"W
L86	19.64	S47°32'45"W
L87	176.58	N42°26'04"W
L88	4.24	N2°33'56"E
L89	94.54	N42°26'04"W
L90	4.24	N87°26'04"W

Line Table		
Line #	Length	Direction
L91	23.37	N42°26'04"W
L92	760.52	S42°26'04"E
L93	73.86	N54°26'38"E
L94	62.78	N30°02'43"E
L95	89.70	S71°15'57"E
L96	19.67	N47°32'45"E
L97	4.23	S5°50'18"E
L98	55.09	S50°50'18"E
L99	116.45	S60°49'36"E
L100	4.24	N74°10'24"E
L101	52.74	S60°49'36"E
L102	4.24	S15°49'36"E
L103	16.43	S60°49'36"E
L104	18.42	S71°15'57"E
L105	4.24	N63°44'03"E
L106	60.61	S71°15'57"E
L107	62.78	S30°02'43"W
L108	73.86	S54°26'38"W
L109	68.39	N42°26'04"W
L110	4.24	N2°33'56"E
L111	362.15	N42°26'04"W
L112	3.81	N87°26'04"W
L113	31.57	S18°44'03"W
L114	56.65	S47°32'45"W
L115	28.10	S52°29'33"W

Curve Table					
Curve #	Length	Radius	Delta	Chord	Chord Bearing
C1	50.14	389.50	7°22'33"	50.11	S15° 00' 24"W
C2	420.86	389.50	61°54'34"	400.68	S49° 38' 57"W
C3	50.10	275.00	10°26'21"	50.04	N66° 02' 46"W
C4	47.94	275.00	9°59'17"	47.88	N55° 49' 57"W
C5	88.32	62.00	81°36'57"	81.04	S88° 21' 13"W
C6	18.85	12.00	90°01'11"	16.97	N87° 26' 40"W
C7	252.76	53.00	273°14'42"	72.80	S0° 56' 35"W
C8	89.95	62.00	83°07'18"	82.26	S83° 59' 43"E
C9	53.23	125.00	24°23'55"	52.83	N42° 14' 40"E
C10	19.72	125.00	9°02'19"	19.70	N25° 31' 33"E
C11	18.37	12.00	87°43'40"	16.63	N64° 52' 13"E
C12	21.57	12.00	102°59'24"	18.78	N3° 56' 58"W
C13	16.63	12.00	79°25'26"	15.33	N87° 15' 28"E
C14	57.18	328.00	9°59'17"	57.11	S55° 49' 57"E
C15	59.76	328.00	10°26'21"	59.68	S66° 02' 46"E
C16	19.89	12.00	94°56'46"	17.69	S23° 47' 34"E
C17	8.33	75.00	6°21'53"	8.33	S26° 51' 46"W
C18	31.94	75.00	24°23'55"	31.70	S42° 14' 40"W
C19	17.41	12.00	83°07'18"	15.92	N83° 59' 43"W
C20	54.66	300.00	10°26'21"	54.58	N66° 02' 46"W
C21	52.30	300.00	9°59'17"	52.23	N55° 49' 57"W
C22	52.71	37.00	81°36'57"	48.36	S88° 21' 13"W
C23	19.74	100.00	11°18'40"	19.71	S24° 23' 23"W
C24	42.58	100.00	24°23'55"	42.26	S42° 14' 40"W
C25	53.68	37.00	83°07'18"	49.09	N83° 59' 43"W

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PREPARED FOR
TRATON HOMES
 720 KENNESAW AVE
 MARIETTA, GA 30060

FINAL PLAT
WILDWOOD PLACE
SUBDIVISION
 (FKA WESTPARK S/D)
 SITUATED IN LAND LOTS 1024, 1049 & 1050
 19th DISTRICT, 2nd SECTION
 CITY OF POWDER SPRINGS
 COBB COUNTY, GEORGIA

GEORGIA
 REGISTERED
 LAND SURVEYOR
 CHARLES R. MITCHELL
 No. 2240
 05 / 24 / 2024

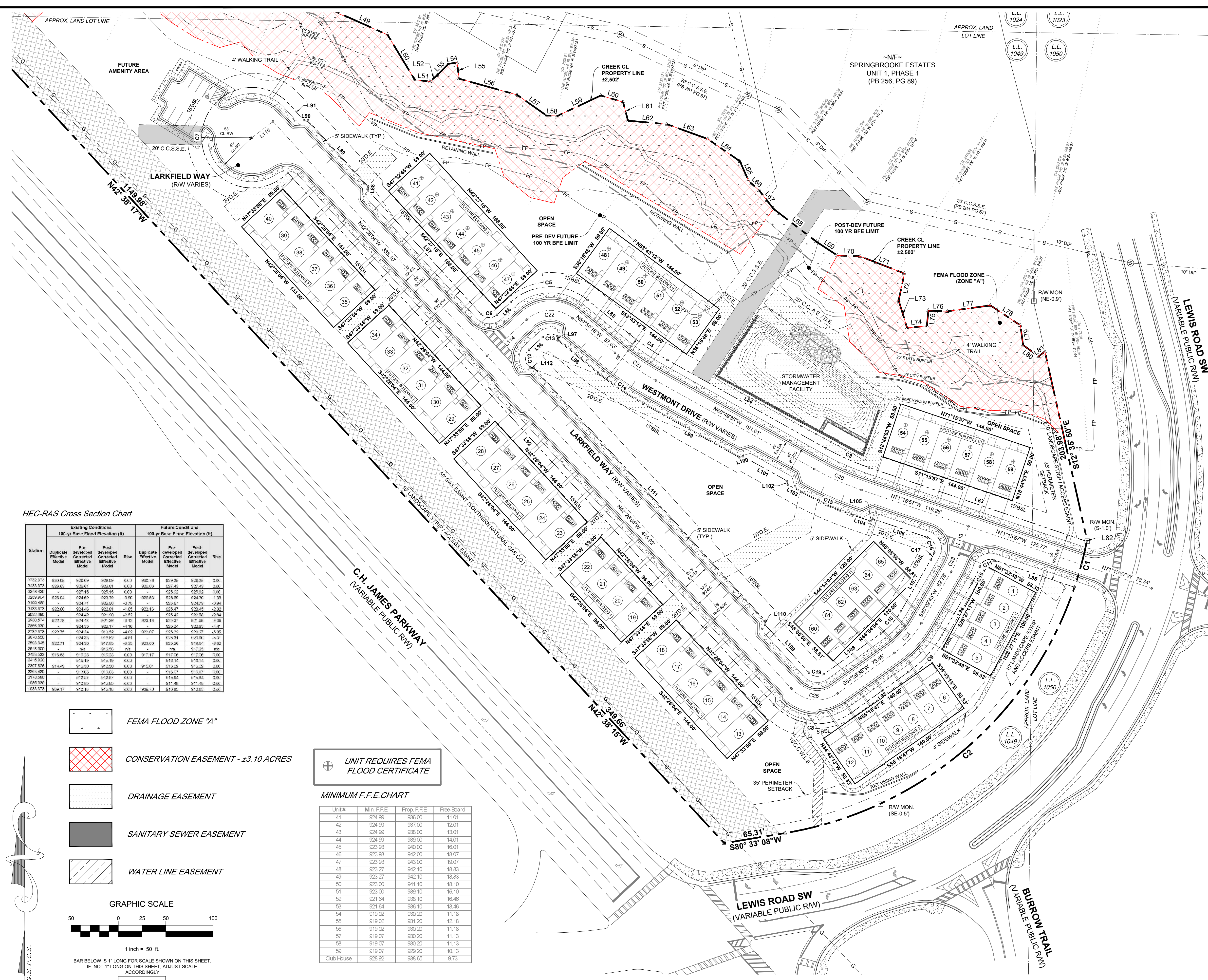
SHEET RECORD

DATE	DESCRIPTION	ISSUED	COMMENTS
05/24/2024			
08/20/2024			

DRAWING INFORMATION
 CAD FILE: 22083.10-FINAL-1.DWG
 DRAWN BY: RPH CHECKED BY: CRM

SHEET NAME:
PLAN

PROJECT: 22083.10 SHEET 4 OF 5



LEGEND

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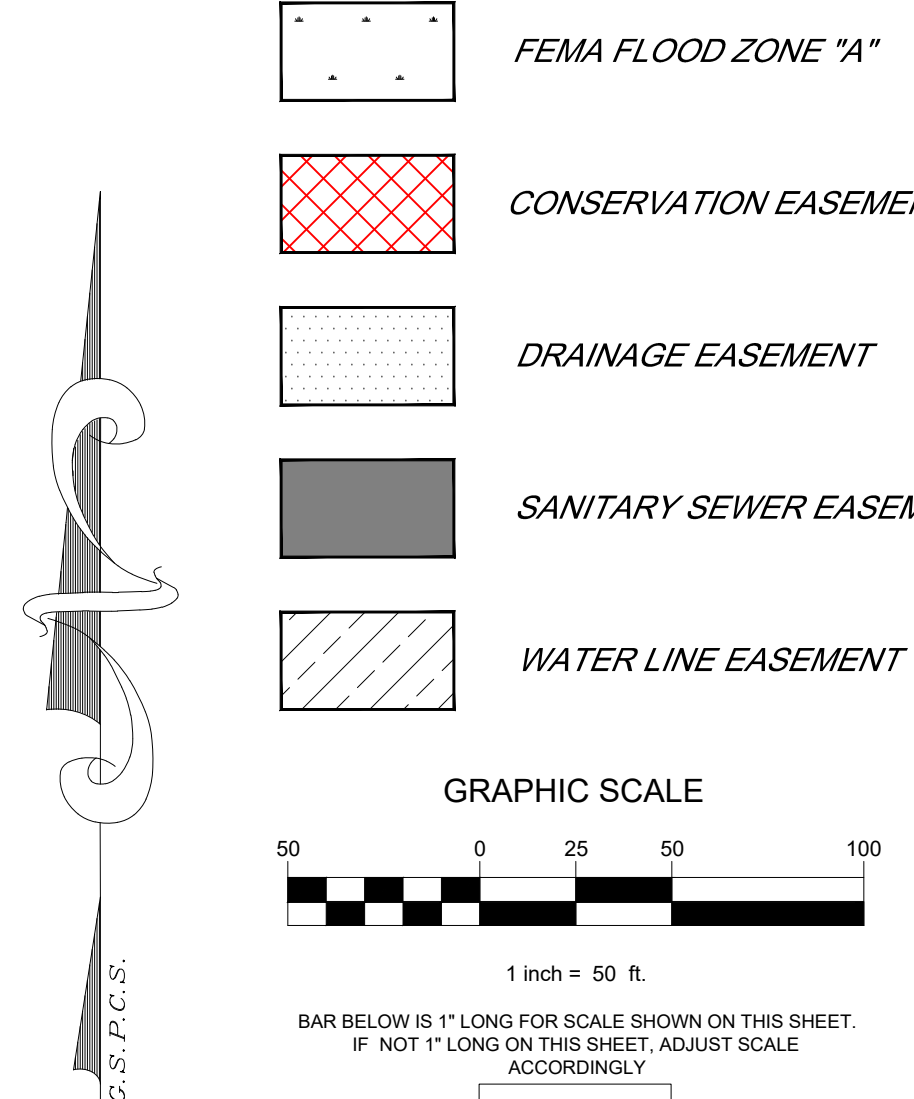
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HEC-RAS Cross Section Chart

Station	Existing Conditions 100-yr Base Flood Elevation (ft)			Future Conditions 100-yr Base Flood Elevation (ft)		
	Duplicate Effective Model	Pre-developed Corrected Effective Model	Post-developed Corrected Effective Model	Duplicate Effective Model	Pre-developed Corrected Effective Model	Post-developed Corrected Effective Model
3732.575	929.08	929.08	929.08	930.74	929.38	929.38
3733.575	928.63	928.61	928.61	929.09	927.43	927.43
3734.575	928.15	928.15	928.15	928.52	926.92	926.92
3735.575	928.04	928.09	928.78	928.59	928.36	928.36
3736.575	927.71	928.04	928.58	928.67	928.73	928.73
3737.575	927.66	928.45	929.81	928.15	928.47	928.47
3738.575	927.43	928.43	929.50	928.43	928.58	928.58
3739.575	927.28	928.48	929.58	928.13	928.37	928.37
3740.575	927.18	928.48	929.58	928.34	928.93	928.93
3741.575	927.28	928.48	929.58	928.34	928.93	928.93
3742.575	927.28	928.48	929.58	928.34	928.93	928.93
3743.575	927.28	928.48	929.58	928.34	928.93	928.93
3744.575	927.28	928.48	929.58	928.34	928.93	928.93
3745.575	927.28	928.48	929.58	928.34	928.93	928.93
3746.575	927.28	928.48	929.58	928.34	928.93	928.93
3747.575	927.28	928.48	929.58	928.34	928.93	928.93
3748.575	927.28	928.48	929.58	928.34	928.93	928.93
3749.575	927.28	928.48	929.58	928.34	928.93	928.93
3750.575	927.28	928.48	929.58	928.34	928.93	928.93
3751.575	927.28	928.48	929.58	928.34	928.93	928.93
3752.575	927.28	928.48	929.58	928.34	928.93	928.93
3753.575	927.28	928.48	929.58	928.34	928.93	928.93
3754.575	927.28	928.48	929.58	928.34	928.93	928.93
3755.575	927.28	928.48	929.58	928.34	928.93	928.93
3756.575	927.28	928.48	929.58	928.34	928.93	928.93
3757.575	927.28	928.48	929.58	928.34	928.93	928.93
3758.575	927.28	928.48	929.58	928.34	928.93	928.93
3759.575	927.28	928.48	929.58	928.34	928.93	928.93
3760.575	927.28	928.48	929.58	928.34	928.93	928.93
3761.575	927.28	928.48	929.58	928.34	928.93	928.93
3762.575	927.28	928.48	929.58	928.34	928.93	928.93
3763.575	927.28	928.48	929.58	928.34	928.93	928.93
3764.575	927.28	928.48	929.58	928.34	928.93	928.93
3765.575	927.28	928.48	929.58	928.34	928.93	928.93
3766.575	927.28	928.48	929.58	928.34	928.93	928.93
3767.575	927.28	928.48	929.58	928.34	928.93	928.93
3768.575	927.28	928.48	929.58	928.34	928.93	928.93
3769.575	927.28	928.48	929.58	928.34	928.93	928.93
3770.575	927.28	928.48	929.58	928.34	928.93	928.93
3771.575	927.28	928.48	929.58	928.34	928.93	928.93
3772.575	927.28	928.48	929.58	928.34	928.93	928.93
3773.575	927.28	928.48	929.58	928.34	928.93	928.93
3774.575	927.28	928.48	929.58	928.34	928.93	928.93
3775.575	927.28	928.48	929.58	928.34	928.93	928.93
3776.575	927.28	928.48	929.58	928.34	928.93	928.93
3777.575	927.28	928.48	929.58	928.34	928.93	928.93
3778.575	927.28	928.48	929.58	928.34	928.93	928.93
3779.575	927.28	928.48	929.58	928.34	928.93	928.93
3780.575	927.28	928.48	929.58	928.34	928.93	928.93
3781.575	927.28	928.48	929.58	928.34	928.93	928.93
3782.575	927.28	928.48	929.58	928.34	928.93	928.93
3783.575	927.28	928.48	929.58	928.34	928.93	928.93
3784.575	927.28	928.48	929.58	928.34	928.93	928.93
3785.575	927.28	928.48	929.58	928.34	928.93	928.93
3786.575	927.28	928.48	929.58	928.34	928.93	928.93
3787.575	927.28	928.48	929.58	928.34	928.93	928.93
3788.575	927.28	928.48	929.58	928.34	928.93	928.93
3789.575	927.28	928.48	929.58	928.34	928.93	928.93
3790.575	927.28	928.48	929.58	928.34	928.93	928.93
3791.575	927.28	928.48	929.58	928.34	928.93	928.93
3792.575	927.28	928.48	929.58	928.34	928.93	928.93
3793.575	927.28	928.48	929.58	928.34	928.93	928.93
3794.575	927.28	928.48	929.58	928.34	928.93	928.93
3795.575	927.28	928.48	929.58	928.34	928.93	928.93
3796.575	927.28	928.48	929.58	928.34	928.93	928.93
3797.575	927.28	928.48	929.58	928.34	928.93	928.93
3798.575	927.28	928.48	929.58	928.34	928.93	928.93
3799.575	927.28	928.48	929.58	928.34	928.93	928.93
3800.575	927.28	928.48	929.58	928.34	928.93	928.93



UNIT REQUIRES FEMA FLOOD CERTIFICATE

MINIMUM F.F.E. CHART

Unit #	Min. FFE	Prop. FFE	Free-Board
41	924.99	936.00	11.01
42	924.99	937.00	12.01
43	924.99	938.00	13.01
44	924.99	938.00	14.01
45	923.99	940.00	16.01
46	923.99	942.00	18.07
47	923.99	943.00	19.07
48	923.27	942.10	18.83
49	923.27	942.10	18.83
50	923.00	941.10	18.10
51	923.00	939.10	16.10
52	921.64	938.10	16.46
53	921.64	936.10	18.46
54	919.02	930.20	11.18
55	919.02	931.20	12.18
56	919.02	932.20	11.18
57	919.07	930.20	11.13
58	919.07	930.20	11.13
59	919.07	929.20	10.13
Club House	928.92	938.65	9.73

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PREPARED FOR
TRATON HOMES
 720 KENNESAW AVE
 MARIETTA, GA 30060

FINAL PLAT
WILDWOOD PLACE SUBDIVISION
 (FKA WESTPARK S/D)
 SITUATED IN LAND LOTS 1024, 1049 & 1050
 19th DISTRICT, 2nd SECTION
 CITY OF POWDER SPRINGS
 COBB COUNTY, GEORGIA



05 / 24 / 2024

SHEET RECORD

DATE	DESCRIPTION	ISSUED	COMMENTS
05/24/2024			
08/20/2024			

DRAWING INFORMATION
 CAD FILE: 22083.10-FINAL-1.DWG
 DRAWN BY: RPH CHECKED BY: CRM
 SHEET NAME:

PLAN

FOR USE BY SUPERIOR CLERK OF COURT

LEGEND

MEASUREMENT NOTE
 DIMENSIONS ENCLOSED BY "()" ARE RECORD AND NOTED IN THE "RECORD DOCUMENT INDEX" ALL OTHER DIMENSIONS ARE ACTUAL BASED ON FIELD MEASUREMENTS.

EXAMPLE:
 (135.26') - RECORD DIMENSION

ABBREVIATIONS
 AC = ACRE
 ASPH = ASPHALT
 BSL = BUILDING LINE
 BOG = BACK OF CURB
 CB = CHORD BEARING
 CH = CHORD
 CONC = CONCRETE
 CMP = CORRUGATED METAL PIPE
 DB = DEED BOOK
 DE = DRAINAGE EASEMENT
 DIP = DUCTILE IRON PIPE
 ELEV = ELEVATION
 ESMIT = EASEMENT
 FFE = FINISHED FLOOR ELEVATION
 HW = HEAD WALL
 IE = INVERT ELEVATION
 JB = JUNCTION BOX
 L = ARC LENGTH
 HC = HANDICAPPED
 NIF = NOW OR FORMERLY
 OCS = OUTLET CONTROL STRUCTURE
 PB = PLAT BOOK
 PG = PAGE
 PID = TAX PARCEL IDENTIFICATION NUMBER
 POC = POINT OF COMMENCEMENT
 POB = POINT OF BEGINNING
 PVC = POLYVINYL CHLORIDE PIPE
 R = RADIUS
 RCP = REINFORCED CONCRETE PIPE
 RW = RIGHT-OF-WAY
 SF = SQUARE FEET
 SPG = STATE PLANE GRID
 SSE = SANITARY SEWER EASEMENT
 WE = WATER EASEMENT

ELEVATIONS
 + 608.17 - SPOT ELEVATION

SYMBOL KEY

- ⊙ - BOLLARD
- ⊙ - CABLE TV PEDESTAL
- ⊙ - CALCULATED POINT
- ⊙ - CATCH BASIN (SINGLE)
- ⊙ - CATCH BASIN (DOUBLE)
- ⊙ - CENTRAL ANGLE (DELTA)
- ⊙ - CONIFEROUS TREE
- ⊙ - CURB INLET
- ⊙ - DECIDUOUS TREE
- ⊙ - DROP INLET
- ⊙ - ELECTRICAL MANHOLE
- ⊙ - ELECTRIC METER
- ⊙ - ELECTRICAL TRANSFORMER
- ⊙ - FIRE HYDRANT
- ⊙ - GAS VALVE
- ⊙ - GAS METER
- ⊙ - GAS PEDESTAL
- ⊙ - GUY ANCHOR WIRE
- ⊙ - HEADWALL
- ⊙ - JUNCTION BOX MANHOLE
- ⊙ - LAND LOT NUMBER
- ⊙ - LIGHT POLE
- ⊙ - LOT NUMBER
- ⊙ - MAIL BOX
- ⊙ - CAPPED RE-BAR SET MSC
- ⊙ - MONUMENT FOUND
- ⊙ - CONCRETE MONUMENT FOUND
- ⊙ - ROOF DRAIN
- ⊙ - SANITARY SEWER CLEANOUT
- ⊙ - SANITARY SEWER MANHOLE
- ⊙ - SHRUB OR BUSH
- ⊙ - SIGN (ONE POLE)
- ⊙ - SIGN (TWO POLES)
- ⊙ - SITE BENCHMARK
- ⊙ - STREET ADDRESS
- ⊙ - TELEPHONE BOX
- ⊙ - TELEPHONE MANHOLE
- ⊙ - TRAFFIC POLE
- ⊙ - UTILITY POLE
- ⊙ - WATER METER
- ⊙ - WATER VALVE
- ⊙ - YARD/GRATE INLET

- FEMA FLOOD ZONE "A"
- CONSERVATION EASEMENT - ±3.10 ACRES
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- WATER LINE EASEMENT

