

2024082611 Plat Book 282 pg 885
Recorded: 10/14/2024 2:28:00 PM
Connie Taylor
Clerk of Superior Court
Cobb County, Georgia
ParticipantIDs: 4734558599

FOR USE BY SUPERIOR CLERK OF COURT

LEGEND

MEASUREMENT NOTE
DIMENSIONS ENCLOSED BY " () " ARE RECORD AND NOTED IN THE "RECORD DOCUMENT INDEX". ALL OTHER DIMENSIONS ARE ACTUAL BASED ON FIELD MEASUREMENTS.

EXAMPLE:
(135.26') - RECORD DIMENSION

ABBREVIATIONS
AC = ACRE
ASPH = ASPHALT
BSL = BUILDING LINE
BOC = BACK OF CURB
CB = CHORD BEARING
CH = CHORD
CONC = CONCRETE
CMP = CORRUGATED METAL PIPE
DB = DEED BOOK
DE = DRAINAGE EASEMENT
DIP = DUCTILE IRON PIPE
ELEV = ELEVATION
ESMT = EASEMENT
FFE = FINISHED FLOOR ELEVATION
HW = HEAD WALL
IE = INVERT ELEVATION
JB = JUNCTION BOX
L = ARC LENGTH
HC = HANDICAPPED
NF = NOW OR FORMERLY
OCS = OUTLET CONTROL STRUCTURE
PB = PLAT BOOK
PG = PAGE
PID=TAX PARCEL IDENTIFICATION NUMBER
POC = POINT OF COMMENCEMENT
POB = POINT OF BEGINNING
PVC = POLYVINYL CHLORIDE PIPE
R = RADIUS
RCP = REINFORCED CONCRETE PIPE
RW = RIGHT OF WAY
SF = SQUARE FEET
SPG = STATE PLANE GRID
SSE = SANITARY SEWER EASEMENT
WE = WATER EASEMENT

ELEVATIONS
+ 608.17 - SPOT ELEVATION

SYMBOL KEY

- ⊙ - BOLLARD
- ⊙ - CABLE TV PEDESTAL
- △ - CALCULATED POINT
- ⊙ - CATCH BASIN (SINGLE)
- ⊙ - CATCH BASIN (DOUBLE)
- ∠ - CENTRAL ANGLE (DELTA)
- ▲ - CONIFEROUS TREE
- - CURB INLET
- - DECIDUOUS TREE
- - DROP INLET
- ⊙ - ELECTRICAL MANHOLE
- ⊙ - ELECTRIC METER
- ⊙ - ELECTRICAL TRANSFORMER
- ⊙ - FIRE HYDRANT
- ⊙ - GAS VALVE
- ⊙ - GAS METER
- ⊙ - GAS PEDESTAL
- ⊙ - GUY ANCHOR WIRE
- ⊙ - HEADWALL
- ⊙ - JUNCTION BOX MANHOLE
- ⊙ - LAND LOT NUMBER
- ⊙ - LIGHT POLE
- ⊙ - LOT NUMBER
- ⊙ - MAIL BOX
- ⊙ - CAPPED RE-BAR SET MSC
- ⊙ - MONUMENT FOUND
- ⊙ - CONCRETE MONUMENT FOUND
- ⊙ - ROOF DRAIN
- ⊙ - SANITARY SEWER CLEANOUT
- ⊙ - SANITARY SEWER MANHOLE
- ⊙ - SHRUB OR BUSH
- ⊙ - SIGN (ONE POLE)
- ⊙ - SIGN (TWO POLES)
- ⊙ - SITE BENCHMARK
- 231 - STREET ADDRESS
- ⊙ - TELEPHONE BOX
- ⊙ - TELEPHONE MANHOLE
- ⊙ - TRAFFIC POLE
- ⊙ - UTILITY POLE
- ⊙ - WATER METER
- ⊙ - WATER VALVE
- ⊙ - YARD/GRATE INLET

OWNER / DEVELOPER:
TRATON HOMES
720 KENNESAW AVE
MARIETTA, GA 30060
770.427.9064

LAND SURVEYOR:
MITCHELL SURVEYING & CONSULTING
3201 SOUTH CHEROKEE LANE, STE 310
WOODSTOCK, GA 30188
770.924.2955

NO STREET PARKING HAS
BEEN APPROVED FOR THIS
DEVELOPMENT

SHEET INDEX

SHEET 1	-	COVER
SHEET 2	-	NOTES
SHEET 3	-	TABLES
SHEET 4	-	PLAN
SHEET 5	-	PLAN

UTILITY CONTACT INFORMATION
(TAKEN FROM CONSTRUCTION PLANS)

UTILITY	COMPANY	TELEPHONE
POWER	COBB EMC	770.429.2100
WATER	CCWS	770.419.6200
SEWER	CCWS	770.419.6200
GAS	ATLANTA GAS & LIGHT	800.427.5463
TELEPHONE	AT&T	800.288.2020
CABLE	COMCAST	800.934.6489

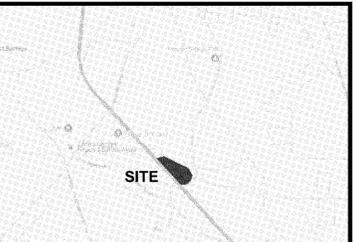
COBB COUNTY PERMIT #SPR-2022-00516
POWDER SPRINGS PERMIT #22PDR-LDP00016

DEVELOPMENT STANDARDS SUMMARY CHART

ZONING		
Present Zoning	=	PUD-R (PLANNED URBAN DEV)
Proposed Use	=	Single-Family Residential
Zoning Ordinance	=	Case PZ #22-003 (Sheet 2)

AREA		
Overall Site Area	=	13.81 Acres
R/W Dedication	=	2.231 Acres

SETBACKS		
Perimeter (Buffer)	=	35 Feet
Front (from ROW)	=	15 Feet
Side	=	0 Feet
Rear	=	20 Feet
Between Bldgs (Min.)	=	15 Feet



VICINITY MAP (NTS)

SURVEYOR'S NOTES

EQUIPMENT AND FIELD SURVEY STATEMENT
TYPE OF EQUIPMENT: TOPCON GTS-233W TOTAL STATION & SPECTRA PRECISION EPOCH 50 DUAL BAND GPS RECEIVER ON THE eGPS NETWORK.
FIELD SURVEY COMPLETED: 11/02/2022

DATUM
HORIZONTAL: STATE PLANE GRID (NAD83 - GA WEST)
VERTICAL: MEAN SEA LEVEL (WVD 88 - GEOID 12A)
ESTABLISHED BY GPS OBSERVATIONS.

PREDICTED POSITIONAL ERROR
+/- (0.03 + 1.10.000) HORIZONTAL
+/- (0.06 + 1.10.000) VERTICAL
BASED ON A COMBINATION OF GPS AND CONVENTIONAL TOTAL STATION ERROR ESTIMATES.

CLOSURE STATEMENT
THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED WAS ADJUSTED USING LEAST SQUARES. THE RELATIVE POSITIONAL PRECISION OF ALL MEASURED PROPERTY MONUMENTS SHOWN AS PART OF THIS SURVEY ACHIEVE THE 95% CONFIDENCE LEVEL (2 STANDARD DEVIATIONS).

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN:
WESTPARK PLACE S/D CLOSURE: 1:80,254

FLOOD ZONE
BASED ON GRAPHICAL INTERPRETATION THIS PROPERTY IS SITUATED IN UNSHADED FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN) AND A PORTION OF THE PROPERTY IS LOCATED WITHIN A SHADED ZONE "A" (AREAS WITH BASE FLOOD ELEVATIONS DETERMINED) AS DEPICTED ON NFIP FLOOD INSURANCE RATE MAPS 13067C0177 G, DATED 12/16/2008 AND 13067C0179, 13067C0181 H & 13067C0183 H DATED 03/04/2013. USER OF THIS MAP IS CAUTIONED THAT A MORE PRECISE FLOOD DELINEATION MAY BE NEEDED TO VERIFY INFORMATION FROM A MAP REVISIONS, IF ANY, ARE NOT ADDRESSED AS PART OF THIS SURVEY)

ZONING
PUD-R (PLANNED URBAN DEVELOPMENT - RESIDENTIAL). ZONING SHOWN HEREON IS BASED ON ZONING CASE PZ #22-003 AND IS SHOWN FOR INFORMATION ONLY. SURVEYOR MAKES NO WARRANTY AS TO THE EFFECT OF ZONING TO THE CURRENT OR FUTURE USE OF THE SUBJECT PROPERTY. USER OF THIS MAP IS HEREBY CAUTIONED TO CONSULT THE APPROPRIATE GOVERNING BODY FOR FINAL INTERPRETATION CONCERNING ZONING.

TITLE
THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT ABSTRACT OF TITLE. THEREFORE THERE MAY BE OTHER RESTRICTIONS, EASEMENTS, SETBACKS, AGREEMENTS, OR OTHER SIMILAR MATTERS NOT SHOWN HEREON. ALL MATTERS OF TITLE ARE EXCEPTED.

IMPROVEMENTS
ONLY NON-MOBILE AND SUBSTANTIAL "MAN MADE" SURFACE STRUCTURAL IMPROVEMENTS ARE SHOWN HEREON. FEATURES SUCH AS STREAMS, DRAINAGE COURSES, OR VEGETATION ARE NOT SHOWN UNLESS THEY FORM PART OF THE BOUNDARY LIMITS. CAUTION - FEATURES SHOWN INSIDE ROAD RIGHT-OF-WAY LIMITS ARE FOR INFORMATION ONLY AND MAY OR MAY NOT COMPRISE ALL IMPROVEMENTS OR UTILITIES.

UTILITIES
UNDERGROUND UTILITIES THAT ARE SHOWN HEREON ARE BASED UPON FIELD SURFACE OBSERVATIONS, COBB COUNTY & POWDER SPRINGS GIS DATA AND AVAILABLE INFORMATION ON HAND AT THE TIME OF THE SURVEY. NOTICE IS HEREBY GIVEN THAT "GEORGIA ONE CALL" UTILITY LOCATION SERVICE (1-800-282-7411) SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION OF THE SITE.

STREAMS, BODIES OF WATER, & WETLANDS
ALL STREAMS, BODIES OF WATER, AND WETLANDS MAY BE SUBJECT TO STATE, COUNTY, AND LOCAL BUFFERS OR RESTRICTIONS. SURVEYOR MAKES NO INTERPRETATION REGARDING THESE BUFFERS OR RESTRICTIONS. USER OF THIS MAP IS CAUTIONED TO CONSULT WITH THE APPROPRIATE GOVERNING AUTHORITIES CONCERNING POSSIBLE BUFFERS OR RESTRICTIONS.

ARCHAEOLOGICAL & HISTORIC
UNLESS SHOWN HEREON, NO CEMETERIES, ARCHEOLOGICAL OR ARCHITECTURAL LANDMARKS ARE KNOWN TO EXIST ON THIS SITE. HOWEVER, SURVEYOR HAS NOT EXCAVATED THE SITE OR CONSULTED WITH A QUALIFIED PROFESSIONAL IN THIS FIELD FOR ABSOLUTE CONFORMANCE.

REFERENCE INFORMATION
CONSTRUCTION PLANS FOR "WESTPARK PLACE" PERFORMED BY RIDGE PLANNING AND ENGINEERING, STAMPED AND SEALED BY JOHN ROBERT MORGAN (GA PE #2583), DATED NOVEMBER 18, 2022 AND LAST REVISED MAY 15, 2023.

LEWIS ROAD COMBINATION PLAT FOR OGLESBY ROAD GROUP, LLC AND LEWIS ROAD DEVELOPMENT, LLC, PERFORMED BY MITCHELL SURVEYING AND CONSULTING (LSF # 1191), STAMPED AND SEALED BY CHARLES R. MITCHELL (GA RLS #3240), DATED SEPTEMBER 21, 2023 AND LAST REVISED NOVEMBER 13, 2023, RECORDED IN PLAT BOOK 282, PAGES 427-430 IN COBB COUNTY SUPERIOR CLERK OF COURTS.

MITCHELL SURVEYING & CONSULTING, LLC
Surveying • Construction Layout • Consulting
3201 South Cherokee Lane • Suite 310
Woodstock, GA 30188
Tel. 770-924-2955 Fax: 770-485-9073
Email: cmitchell@msc-survey.com

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PREPARED FOR
TRATON HOMES
720 KENNESAW AVE
MARIETTA, GA 30060

FINAL PLAT
WILDWOOD PLACE SUBDIVISION
(FKA WESTPARK S/D)
SITUATED IN LAND LOTS 1024, 1049 & 1050
19th DISTRICT, 2nd SECTION
CITY OF POWDER SPRINGS
COBB COUNTY, GEORGIA

05 / 24 / 2024

SHEET RECORD

DATE	DESCRIPTION
05/24/2024	ISSUED
08/20/2024	2nd Sub - COMMENTS
09/09/2024	3rd Sub - COMMENTS
08/26/2024	4th Sub - COMMENTS
09/11/2024	5th Sub - COMMENTS

DRAWING INFORMATION
CAD FILE: 22083.10-FINAL-1.DWG
DRAWN BY: RPH CHECKED BY: CRM

SHEET NAME:
COVER
PROJECT: 22083.10 SHEET 1 OF 5

CIVIL ENGINEER:
RIDGE PLANNING AND ENGINEERING
6234 OLD HWY 5, STE D9-250
WOODSTOCK, GA 30188
770.938.9000

DEED RESTRICTIONS & COVENANTS NOTE:
THIS SUBDIVISION IS SUBJECT TO THE COVENANTS AND DEED RESTRICTIONS OUTLINED IN DB 16223, PG 4980 RECORDED IN COBB COUNTY, GA SUPERIOR CLERK OF COURT.

HVAC VISIBILITY NOTE:
ALL HEATING AND AIR CONDITIONING EQUIPMENT SHALL BE LOCATED IN REAR OF LOTS OR SCREENED FROM VIEW WITH LANDSCAPING OR DECORATIVE FENCING SUBJECT TO REVIEW

ARTICLE 10, SEC 10-17 (C):
10-17(C) HEATING AND AIR CONDITIONING EQUIPMENT, ALL HEATING AND AIR CONDITIONING EQUIPMENT AND COMPONENTS (INCLUDING DUCTWORK), ALL ELECTRICAL, VENTILATION, PLUMBING, AND OTHER SERVICE FACILITIES SHALL BE DESIGNED AND/OR LOCATED 3 FEET ABOVE THE BASE FLOOD ELEVATION OR 1 FOOT ABOVE THE FUTURE-CONDITIONS FLOOD ELEVATION, WHICHEVER IS HIGHER, SO AS TO PREVENT WATER FROM ENTERING OR ACCUMULATING WITHIN THE COMPONENTS DURING CONDITIONS OF FLOODING.

ARTICLE 10, SEC 10-42 (M):
10-42(M) ALL APPROPRIATE CERTIFICATIONS REQUIRED UNDER THIS ARTICLE, THE APPROVED FLOODPLAIN MANAGEMENT/FLOOD DAMAGE PREVENTION PLAN SHALL CONTAIN CERTIFICATION BY THE APPLICANT THAT ALL DEVELOPMENT ACTIVITIES WILL BE PERFORMED ACCORDING TO THE PLAN OR PREVIOUSLY APPROVED REVISIONS.

COBB COUNTY WATER SYSTEM APPROVAL:
THIS PLAT, HAVING BEEN SUBMITTED TO COBB COUNTY WATER SYSTEM AND HAVING BEEN FOUND TO COMPLY WITH THE COBB COUNTY DEVELOPMENT STANDARDS IS APPROVED FOR RECORDING.

COBB County Water System DATE 10/8/24

CERTIFICATE OF FINAL PLAT APPROVAL (CITY OF POWDER SPRINGS, COBB COUNTY, GEORGIA):
ALL APPLICABLE REQUIREMENTS OF THE POWDER SPRINGS UNIFIED DEVELOPMENT CODE RELATIVE TO FINAL PLATS HAVING BEEN FULFILLED, APPROVAL OF THIS IS HEREBY GRANTED BY THE POWDER SPRINGS DIRECTOR OF COMMUNITY DEVELOPMENT AND IS ENTITLED TO BE RECORDED.

DIRECTOR OF COMMUNITY DEVELOPMENT DATE

DIRECTOR OF PUBLIC WORKS DATE

MAYOR, CITY OF POWDER SPRINGS DATE

SURVEYOR'S ACKNOWLEDGMENT AND CERTIFICATION

IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY BY ME OR UNDER MY SUPERVISION, THAT ALL MONUMENTS SHOWN THEREON ACTUALLY EXIST.

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 95,926 FEET, AND AN ANGULAR ERROR OF 01' PER ANGLE POINT AND WAS ADJUSTED USING COMPASS RULE.

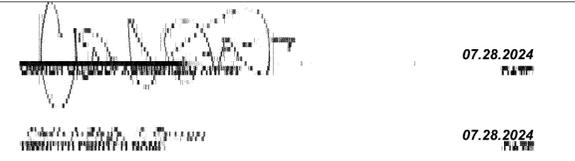
THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 80,284 FEET.

AS REQUIRED BY SUBSECTION (d) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

Georgia Registered Land Surveyor PLS # 3240
DATE 05.24.2024

OWNER'S CERTIFICATE AND DEDICATION
I HEREBY CERTIFY THAT I AM THE OWNER OF THE LAND SHOWN ON THIS PLAT (OR A DULY AUTHORIZED AGENT THEREOF) WHOSE NAME IS SUBSCRIBED HERETO. I ACKNOWLEDGE THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY, AND FOR VALUE RECEIVED THE SUFFICIENCY OF WHICH IS HEREBY ACKNOWLEDGED, I DO HEREBY CONVEY TO COBB COUNTY, GEORGIA ALL WATER MAINS, WATER LINES, SANITARY SEWER LINES AND THE LIKE TO FUNCTION AS PART OF THE COBB COUNTY WATER SYSTEM AND FURTHER CONVEY ALL STREETS AND RIGHTS-OF-WAY AND MAJOR STORMWATER EASEMENTS INDICATED AS STORMWATER STRUCTURES TO THE FIRST JUNCTION BOX OR WHERE WATER COMBINES WITH A PRIVATE SYSTEM, SHOWN HEREON IN FEE SIMPLE TO THE CITY OF POWDER SPRINGS AND FURTHER DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES HEREON SHOWN FOR THE PURPOSES AND CONSIDERATIONS HEREIN EXPRESSED. DRAINAGE EASEMENTS AND STORMWATER PONDS ARE DEDICATED TO ALLOW WATER TO FLOW AND ARE TO BE MAINTAINED BY THE OWNER OF THE PROPERTY. IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT AND OTHER VALUABLE CONSIDERATIONS, I FURTHER RELEASE AND HOLD HARMLESS THE CITY OF POWDER SPRINGS AND COBB COUNTY FROM ANY AND ALL CLAIMS, DAMAGES, OR DEMANDS ARISING: ON ACCOUNT OF THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF THE PROPERTY SHOWN HEREON; ON ACCOUNT OF THE ROADS, FILLS, EMBANKMENTS, DITCHES, CROSS DRAINS, CULVERTS, WATER MAINS, SEWER LINES, AND BRIDGES WITHIN THE PROPOSED RIGHTS-OF-WAY AND EASEMENTS SHOWN; AND ON ACCOUNT OF BACKWATER, THE COLLECTION AND DISCHARGE OF SURFACE WATER, OR THE CHANGING OF COURSES OF STREAMS.

AND FURTHER, I WARRANT THAT I OWN FEE SIMPLE TITLE TO THE PROPERTY SHOWN HEREON AND AGREE THAT THE CITY OF POWDER SPRINGS AND COBB COUNTY SHALL NOT BE LIABLE TO ME, MY HEIRS, SUCCESSORS, OR ASSIGNS FOR ANY CLAIMS OR DAMAGES RESULTING FROM THE CONSTRUCTION OR MAINTENANCE OF CROSS DRAIN EXTENSIONS, DRIVES, STRUCTURES, STREAMS, CULVERTS, CURBS, OR SIDEWALKS, THE CHANGING OF COURSES OF STREAMS AND RIVERS, FLOODING FROM NATURAL CREEKS AND RIVERS, SURFACE WATERS, AND ANY OTHER MATTER WHATSOEVER. I FURTHER WARRANT THAT I HAVE THE RIGHT TO SELL AND CONVEY THE LAND ACCORDING TO THIS PLAT AND DO HEREBY BIND OWNERS AND MYSELF SUBSEQUENT IN TITLE TO DEFEND BY VIRTUE OF THESE PRESENTS.



ARTICLE 10, SEC 10-43 (A, B & D)
10-43(A) THE PERMIT HOLDER SHALL PROVIDE TO THE COMMUNITY DEVELOPMENT DIRECTOR AN AS-BUILT ELEVATION CERTIFICATE OR (IF NON-RESIDENTIAL CONSTRUCTION) A FLOODPROOFING CERTIFICATE S FOR ALL NEW CONSTRUCTION AND SUBSTANTIAL IMPROVEMENTS ON SITES WITH A FLOODPLAIN MANAGEMENT/FLOOD DAMAGE PREVENTION PLAN.
10-43(B) SUCH CERTIFICATE SHALL INCLUDE THE LOWEST FLOOR ELEVATION OR FLOOD PROOFING LEVEL AND SHALL BE PROVIDED TO THE COMMUNITY DEVELOPMENT DIRECTOR IMMEDIATELY AFTER THE LOWEST FLOOR OR FLOOD PROOFING IS COMPLETED. A FINAL ELEVATION CERTIFICATE SHALL BE PROVIDED AFTER COMPLETION OF CONSTRUCTION, INCLUDING FINAL GRADING OF THE SITE. ANY LOWEST FLOOR CERTIFICATION MADE RELATIVE TO MEAN SEA LEVEL SHALL BE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER AND CERTIFIED BY SAME.

10-43(D) ANY WORK UNDERTAKEN PRIOR TO APPROVAL OF THESE CERTIFICATIONS SHALL BE AT THE PERMIT HOLDER'S RISK. THE COMMUNITY DEVELOPMENT DIRECTOR SHALL REVIEW THE ABOVE REFERENCED CERTIFICATION DATA SUBMITTED. DEFICIENCIES DETECTED BY SUCH REVIEW SHALL BE CORRECTED BY THE PERMIT HOLDER IMMEDIATELY AND PRIOR TO ANY FURTHER WORK BEING ALLOWED TO PROCEED. FAILURE TO SUBMIT CERTIFICATION OR FAILURE TO MAKE THE CORRECTIONS REQUIRED HEREBY SHALL CAUSE THE ISSUANCE OF A STOP WORK ORDER FOR THE PROJECT.

FEMA FLOOD MAP (NTS)

FIRM PANELS:	EFFECTIVE DATE
13067C0177 G	12/16/2008
13067C0179 H	03/04/2013
13067C0181 H	03/04/2013
13067C0183 H	03/04/2013

STORMWATER MANAGEMENT FACILITY CERTIFICATION

COBB COUNTY WATER SYSTEM NOTES:

- NO PERMANENT STRUCTURES SHALL BE CONSTRUCTED WITHIN TEN (10') FEET OF THE EDGE OF A PERMANENT COBB COUNTY WATER OR SANITARY EASEMENT ON FRONT OR REAR SETBACKS, OR WITHIN TWO (2') FEET ON SIDE SETBACKS, PER COUNTY CODE 122-123.
- WATER METERS SHALL NOT BE INSTALLED BEHIND ENCLOSED FENCES, IN PAVED DRIVEWAYS OR IN PAVED PARKING AREAS PER COUNTY CODE SEC. 122-125.
- PAVEMENT CUTS BY CCWS FOR MAINTENANCE OF WATER AND/OR SEWER LINES WILL BE REPAIRED PER COBB COUNTY STANDARD DETAIL 02510-2.

STORMWATER MANAGEMENT FACILITY CERTIFICATION



FLOODPLAIN NOTES:

- FLOODPLAIN REPORT: "HYDRAULIC ANALYSIS REPORT - LEWIS ROAD SUBDIVISION", DATED MARCH 10, 2023 BY RIDGE PLANNING & ENGINEERING.
- TOPOGRAPHIC DATA USED FOR MAPPING THE FLOODPLAIN WAS BASED ON A FIELD RUN SURVEY BY MITCHELL SURVEYING & CONSULTING, LLC.
- AS-BUILT HYDRAULICS ANALYSIS REPORT PROVIDED BY JOHN MORGAN, PE 25838, OF RIDGE PLANNING & ENGINEERING, DATED 9/10/2024.

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PREPARED FOR

TRATON HOMES
720 KENNESAW AVE
MARIETTA, GA 30060

FINAL PLAT
WILDWOOD PLACE
SUBDIVISION
(FKA WESTPARK S/D)
SITUATED IN LAND LOTS 1024, 1049 & 1050
19th DISTRICT, 2nd SECTION
CITY OF POWDER SPRINGS
COBB COUNTY, GEORGIA



05 / 24 / 2024

SHEET RECORD

Table with columns: DATE, DESCRIPTION, ISSUED. Rows include dates from 05/24/2024 to 09/11/2024 and descriptions like '2nd Sub - COMMENTS'.

DRAWING INFORMATION
CAD FILE: 22083.10-FINAL-1.DWG
DRAWN BY: RPH CHECKED BY: CRM

SHEET NAME:

NOTES

NO STREET PARKING HAS BEEN APPROVED FOR THIS DEVELOPMENT

OWNER / DEVELOPER:
TRATON HOMES
720 KENNESAW AVE
MARIETTA, GA 30060
770.427.9064

GENERAL CONTRACTOR:
INTEGRITY CONSTRUCTION MANAGEMENT
1690 OLD 41 HWY NW
MARIETTA, GA 30064
706.618.3439

CIVIL ENGINEER:
RIDGE PLANNING AND ENGINEERING
6234 OLD HWY 5, STE D9-250
WOODSTOCK, GA 30188
770.938.9000

LAND SURVEYOR:
MITCHELL SURVEYING & CONSULTING
3201 SOUTH CHEROKEE LANE, STE 310
WOODSTOCK, GA 30188
770.924.2955

FOR USE BY SUPERIOR CLERK OF COURT

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+ 608.17 - SPOT ELEVATION

SYMBOL KEY

- List of symbols and their corresponding descriptions: BOLLARD, CABLE TV PEDESTAL, CALCULATED POINT, CATCH BASIN (SINGLE/DOUBLE), CENTRAL ANGLE (DELTA), CONIFEROUS TREE, CURB INLET, DECIDUOUS TREE, DROP INLET, ELECTRICAL MANHOLE, ELECTRIC METER, ELECTRICAL TRANSFORMER, FIRE HYDRANT, GAS VALVE, GAS METER, GAS PEDESTAL, GLY ANCHOR WIRE, HEADWALL, JUNCTION BOX MANHOLE, LAND LOT NUMBER, LIGHT POLE, LOT NUMBER, MAIL BOX, CAPPED RE-BAR SET MSC, MONUMENT FOUND, CONCRETE MONUMENT FOUND, ROOF DRAIN, SANITARY SEWER CLEANOUT, SANITARY SEWER MANHOLE, SHRUB OR BUSH, SIGN (ONE/TWO POLES), SITE BENCHMARK, STREET ADDRESS, TELEPHONE BOX, TELEPHONE MANHOLE, TRAFFIC POLE, UTILITY POLE, WATER METER, WATER VALVE, YARD/GRATE INLET.

Memorandum

Date: September 19, 2022.
To: Mayor and Council
From: Community Development
Subject: PZ 22-003. Rezoning Request: Lewis / Oglesby Road. To consider rezoning from CRC to PUD-R, the property located at 4596 Lewis Road and 4401 Oglesby Road (portion) and C.H. James parkway, within the 19th District, 2nd Section, Land Lots 1049 and 1050, Cobb County, Georgia.

Action: A motion to APPROVE with the following conditions:

- 1. The stipulations and conditions set forth herein shall replace and supersede in full any and all prior stipulations and conditions in whatsoever form which are currently in place concerning the property which constitutes the subject matter of the above-captioned Application for Rezoning.
2. The Subject Property shall be developed in substantial conformity to that certain revised site plan the went through the external review process with TSW, prepared by Ridge Planning and Engineering dated 11/22/2021, last revised 08/16/2022.
3. The recreation areas shall feature premium amenities. Such area shall be developed with at least one recreational feature such as a pavilion, cabana, gazebo, picnic area, swimming pool, playground, or tennis courts; in addition to the walking trails.
4. All areas located in the floodplain and undisturbed stream buffer shall be placed in a conservation easement.
5. Maximum height of homes shall be 35'; and for three-story, rear-loaded homes, the maximum height of 35' shall be measured from the front grade to the average height between the eaves and ridge of a gable.

- 6. The approval of following variance requests is included with the approval of the rezoning request to PUD-R:
- Variance to Sec 12 -13 to waive requirement to maintain 75% of existing tree canopy.
- Variance to allow minimum horizontal road centerline radius of 37 feet.
7. All residential units shall have two-car garages, and the parking pads/driveway in front of the garage shall be greater than or = 22-feet in length.
8. Front porches shall be a minimum of 6-feet deep, with a minimum total area of 40-square feet.
9. To ensure uniformity and quality, fencing within the proposed community shall be controlled and maintained by the Homeowners' Association; except where individual residents have obtained prior approval by the Homeowners' Association and any individual fencing is of the same quality and style for purposes of uniformity.
10. The setback are as follows:
- Front: 15 feet from right-of-way
- Perimeter: 35 feet setback
- Between buildings: Minimum of 15 feet
- Design Review shall be conducted via Administrative Review.
11. Units must be staggered to the extent required by code, they must provide some staggering or variation as approved by an Administrative Design Review.
12. The architectural style and composition of the homes will be subject TSW review, and shall consist of traditional architecture on all sides, consistent with the product images submitted. Variety in the neighborhood will be provided using stone and different shades of brick, and by mixing front facades of 50% brick and 100% brick as shown in submitted product images.

- 13. The creation of a mandatory Homeowners' Association ("HOA") and the submission of Declaration of Covenants, Conditions and Restrictions ("CCRs") during the Plan Review process, which shall include, among other components, strict architectural controls.
14. The submission of a landscape plan during the Plan Review process which shall be subject to review and approval by the Community Development Director.
15. A third-party management company shall be hired to manage the day-to-day operations of the HOA and shall also be responsible for the management of all Association monies as well as insuring that the Association is properly insured until such time as the HOA makes a determination that it can undertake such responsibilities.

- 16. The Community Development Director shall have the authority to approve minor modifications to these stipulations, the architectural renderings/elevations, the site plan and the overall proposal as it proceeds through the Plan Review process and thereafter except for those that:
a) Increase the density of the Residential Community.
b) Relocate a structure closer to the property line of adjacent property which is zoned the same or in a more restrictive zoning district.
c) Increase the height of a building which is adjacent to property which is zoned in the same or more restrictive zoning district.
d) Change access locations to different rights-of-way.
17. Road frontages will be heavily and professionally landscaped which may include the use of berms, fencing, and substantial plant material to provide for visual screening.
18. Perimeter fencing shall be required to buffer the detention pond area, at minimum. Fencing should not be of a wooden privacy fence type, unless approved by Administrative Design Review; and regardless, all fencing shall be subject to administrative design review and approval.
19. Declarant or any builder construction homes within the proposed community must sell any such home for owner occupancy only.
20. Traffic impacts will be reviewed as part of the LDP process.
21. If the development on the site stalls for a period of 6 months or more, the site be replanted per a plan approved by the Community Development Director showing compliance with minimum tree canopy, street trees and buffer requirements.

So motioned, this 19th day of September 2022.

Attest: Kelly Axt, City Clerk

Signatures of City Council Members: Albert Thurman, Patrick Bordeleau, Absent, Doris Dawkins, Patricia Wisdom, Henry Lud, Dwayne Green.

Table with columns: Powder Springs, Admin Variance. Includes address: 4181 Atlanta Street, Building 4, P.O. Box 46, Powder Springs, GA 30127. Phone: (770) 943-8001. Fax: 23PDR-ADVAR00001.

Table with columns: Date Issued, Expiration Date, Job Site Address, Category, Permit Type. Values: 04/24/2023, 10/21/2023, 4596 Lewis Rd, Powder Springs, GA 30127, Zoning, Admin Variance.

Description of Work:
1. Reduce front setbacks on units 1-12 and 60-65. This is necessitate due to the rear loaded units having an overhang that extends over the driveway with posts that would be over the 15' building line.
2. Reduce side setback on unit 47 due to the impervious setback and unit 1 due to the 35' perimeter setback not allowing the moving of the units west.

Table with columns: Parcel ID, Required Setbacks, Actual Setbacks, Fee Items, Amount. Total Fees: \$ 1,100.00.

NOTICE

Any county or municipal building permit, construction permit, including but not limited to mechanical, plumbing, or electrical permits; if disconnect and reconnect is required for this permit please notify our office immediately with date of service to ensure proper coordination. Call (770) 943-1655. The issuance of this permit authorizes improvements of the real property designed herein which improvements may subject such property to mechanics' and materialmen's liens pursuant to Part 3 of Article 6 of Chapter 14 of Title 44 of the Official Code of Georgia Annotated. In order to protect any interest in such property and to avoid encumbrances thereon, the owner or any person with an interest in such property should consider contacting an attorney or purchasing a consumer's guide to the lien laws which may be available at building supply home centers.

Signature of Applicants: Linda Lee Lowery, 04/19/2023

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PREPARED FOR

TRATON HOMES
 720 KENNESAW AVE
 MARIETTA, GA 30060

FINAL PLAT
WILDWOOD PLACE
SUBDIVISION
 (FKA WESTPARK S/D)
 SITUATED IN LAND LOTS 1024, 1049 & 1050
 19th DISTRICT, 2nd SECTION
 CITY OF POWDER SPRINGS
 COBB COUNTY, GEORGIA



05 / 24 / 2024

SHEET RECORD

DATE	DESCRIPTION	ISSUED
05/24/2024		
06/20/2024	2nd Sub - COMMENTS	
08/09/2024	3rd Sub - COMMENTS	
08/26/2024	4th Sub - COMMENTS	
09/11/2024	5th Sub - COMMENTS	

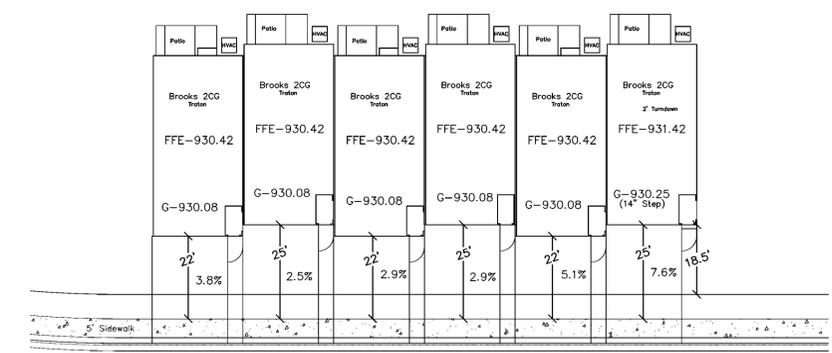
DRAWING INFORMATION

CAD FILE: 22083.10-FINAL-1.DWG
 DRAWN BY: RPH CHECKED BY: CRM

SHEET NAME:

TABLES

TYPICAL UNIT LAYOUT (STAGGERED UNITS TYPICAL)



NO STREET PARKING HAS BEEN APPROVED FOR THIS DEVELOPMENT

OWNER / DEVELOPER:

TRATON HOMES
 720 KENNESAW AVE
 MARIETTA, GA 30064
 770.427.9064

GENERAL CONTRACTOR:

INTEGRITY CONSTRUCTION MANAGEMENT
 1690 OLD 41 HWY NW
 MARIETTA, GA 30064
 706.618.3439

CIVIL ENGINEER:

RIDGE PLANNING AND ENGINEERING
 6234 OLD HWY 5, STE D9-250
 WOODSTOCK, GA 30188
 770.938.9000

LAND SURVEYOR:

MITCHELL SURVEYING & CONSULTING
 3201 SOUTH CHEROKEE LANE, STE 310
 WOODSTOCK, GA 30188
 770.924.2955

FOR USE BY SUPERIOR CLERK OF COURT

LEGEND

MEASUREMENT NOTE
 DIMENSIONS ENCLOSED BY ' () ' ARE RECORD AND NOTED IN THE "RECORD DOCUMENT INDEX." ALL OTHER DIMENSIONS ARE ACTUAL, BASED ON FIELD MEASUREMENTS.

EXAMPLE:
 (135.26) - RECORD DIMENSION

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 ESMT = EASEMENT
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 RW = RIGHT-OF-WAY
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 SPG = STATE PLANE GRID
 SSE = SANITARY SEWER EASEMENT
 WE = WATER EASEMENT

ELEVATIONS
 + 608.17 - SPOT ELEVATION

SYMBOL KEY

- ⊙ - BOLLARD
- ⊙ - CABLE TV PEDESTAL
- △ - CALCULATED POINT
- ⊕ - CATCH BASIN (SINGLE)
- ⊕ - CATCH BASIN (DOUBLE)
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- ⊙ - CURB INLET
- ⊙ - DECIDUOUS TREE
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- ⊙ - ELECTRIC METER
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- ⊙ - UTILITY POLE
- ⊙ - WATER METER
- ⊙ - WATER VALVE
- ⊙ - YARD/GRATE INLET

LINE TABLES

Line #	Length	Direction
L1	13.39	S75°38'06"E
L2	23.05	N57°53'41"E
L3	17.31	N81°49'20"E
L4	15.84	S51°50'37"E
L5	23.13	S85°35'27"E
L6	2.88	S60°36'06"E
L7	16.40	N66°07'19"E
L8	26.78	S78°43'43"E
L9	31.69	N11°41'04"E
L10	13.79	N79°36'44"E
L11	13.67	S33°18'24"E
L12	31.05	S77°35'31"E
L13	5.47	N70°57'08"E
L14	13.29	N12°59'47"E
L15	17.67	N63°42'03"E
L16	24.74	S68°45'32"E
L17	37.21	S14°19'50"W
L18	24.31	S58°52'11"E
L19	13.27	S20°05'29"E
L20	25.73	S34°22'38"W
L21	21.80	S13°30'54"W
L22	30.64	S27°02'01"E
L23	12.49	N75°02'47"E
L24	10.18	S71°03'12"E
L25	11.50	S60°34'00"E
L26	18.31	S24°51'16"E
L27	38.50	S51°17'40"E
L28	36.97	S36°27'42"E
L29	14.11	S66°41'44"E
L30	23.02	N48°35'42"E

Line #	Length	Direction
L31	33.06	S66°55'09"E
L32	34.69	S7°25'05"E
L33	15.36	N89°56'32"E
L34	20.41	N49°20'19"E
L35	31.04	S63°05'15"E
L36	37.67	S12°00'30"E
L37	23.18	S36°43'51"E
L38	58.52	S71°44'19"E
L39	18.05	N62°11'39"E
L40	12.01	N42°11'09"W
L41	24.88	N60°55'50"W
L42	6.17	N26°01'40"W
L43	7.53	N22°34'54"E
L44	16.87	N74°15'31"E
L45	12.99	N71°59'48"E
L46	15.53	S44°05'09"E
L47	44.23	S21°33'51"E
L48	34.53	S67°35'17"E
L49	56.66	S65°53'09"E
L50	55.47	S31°12'00"E
L51	16.24	S83°23'23"E
L52	10.17	N48°14'15"E
L53	16.88	N44°53'57"E
L54	9.03	N81°51'30"E
L55	17.14	S7°31'57"E
L56	63.67	S74°24'22"E
L57	37.93	S54°51'17"E
L58	11.28	S88°18'14"E
L59	50.83	N64°53'59"E
L60	24.41	S73°30'16"E

Line #	Length	Direction
L61	20.35	S14°48'57"E
L62	41.17	S84°55'16"E
L63	46.10	S70°03'34"E
L64	41.17	S55°16'13"E
L65	22.66	S23°40'43"E
L66	15.20	S48°09'53"E
L67	24.50	S37°52'08"E
L68	56.86	S52°34'23"E
L69	26.70	S56°36'03"E
L70	24.03	S87°57'28"E
L71	50.09	S68°51'39"E
L72	29.09	S12°03'12"W
L73	30.34	S17°00'12"E
L74	21.00	N84°11'50"E
L75	16.10	S15°40'53"E
L76	20.12	S88°17'24"E
L77	45.84	N82°14'32"E
L78	37.98	S56°20'58"E
L79	21.00	S7°45'22"E
L80	20.32	S53°57'11"E
L81	8.35	N52°12'31"E
L82	1.35	S11°13'10"W
L83	242.59	N71°15'57"W
L84	191.61	N60°49'36"W
L85	57.63	N50°50'18"W
L86	19.64	S47°32'45"W
L87	176.58	N42°26'04"W
L88	4.24	N2°33'56"E
L89	94.54	N42°26'04"W
L90	4.24	N87°26'04"W

Line #	Length	Direction
L91	23.37	N42°26'04"W
L92	760.52	S42°26'04"E
L93	73.86	N54°26'38"E
L94	62.78	N30°02'43"E
L95	89.70	S71°15'57"E
L96	19.67	N47°32'45"E
L97	4.23	S5°50'18"E
L98	55.09	S50°50'18"E
L99	116.45	S60°49'36"E
L100	4.24	N74°10'24"E
L101	52.74	S60°49'36"E
L102	4.24	S15°49'36"E
L103	16.43	S60°49'36"E
L104	18.42	S71°15'57"E
L105	4.24	N63°44'03"E
L106	60.61	S71°15'57"E
L107	62.78	S30°02'43"W
L108	73.86	S54°26'38"W
L109	68.39	N42°26'04"W
L110	4.24	N2°33'56"E
L111	362.15	N42°26'04"W
L112	3.81	N87°26'04"W
L113	31.57	S18°44'03"W
L114	56.65	S47°32'45"W
L115	28.10	S52°29'33"W

CURVE TABLES

Curve #	Length	Radius	Delta	Chord	Chord Bearing
C1	50.14	389.50	7°22'33"	50.11	S15° 00' 24"W
C2	420.86	389.50	61°54'34"	400.68	S49° 38' 57"W
C3	50.10	275.00	10°26'21"	50.04	N66° 02' 46"W
C4	47.94	275.00	9°59'17"	47.88	N55° 49' 57"W
C5	88.32	62.00	81°36'57"	81.04	S88° 21' 13"W
C6	18.85	12.00	90°01'11"	16.97	N87° 26' 40"W
C7	252.76	53.00	273°14'42"	72.80	S0° 56' 35"W
C8	89.95	62.00	83°07'18"	82.26	S83° 59' 43"E
C9	53.23	125.00	24°23'55"	52.83	N42° 14' 40"E
C10	19.72	125.00	9°02'19"	19.70	N25° 31' 33"E
C11	18.37	12.00	87°43'40"	16.63	N64° 52' 13"E
C12	21.57	12.00	102°59'24"	18.78	N3° 56' 58"W
C13	16.63	12.00	79°25'26"	15.33	N87° 15' 28"E
C14	57.18	328.00	9°59'17"	57.11	S55° 49' 57"E
C15	59.76	328.00	10°26'21"	59.68	S66° 02' 46"E
C16	19.89	12.00	94°56'46"	17.69	S23° 47' 34"E
C17	8.33	75.00	6°21'53"	8.33	S26° 51' 46"W
C18	31.94	75.00	24°23'55"	31.70	S42° 14' 40"W
C19	17.41	12.00	83°07'18"	15.92	N83° 59' 43"W
C20	54.66	300.00	10°26'21"	54.58	N66° 02' 46"W
C21	52.30	300.00	9°59'17"	52.23	N55° 49' 57"W
C22	52.71	37.00	81°36'57"	48.36	S88° 21' 13"W
C23	19.74	100.00	11°18'40"	19.71	S24° 23' 23"W
C24	42.58	100.00	24°23'55"	42.26	S42° 14' 40"W
C25	53.68	37.00	83°07'18"	49.09	N83° 59' 43"W

MITCHELL SURVEYING & CONSULTING, LLC
Surveying • Construction Layout • Consulting
3201 South Cherokee Lane • Suite 310
Woodstock, GA 30188
Tel. 770-924-2955 Fax: 770-485-9073
Email: cmitchell@msc-survey.com

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SITUATED IN LAND LOTS 1024, 1049 & 1050
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05 / 24 / 2024

SHEET RECORD

DATE	DESCRIPTION
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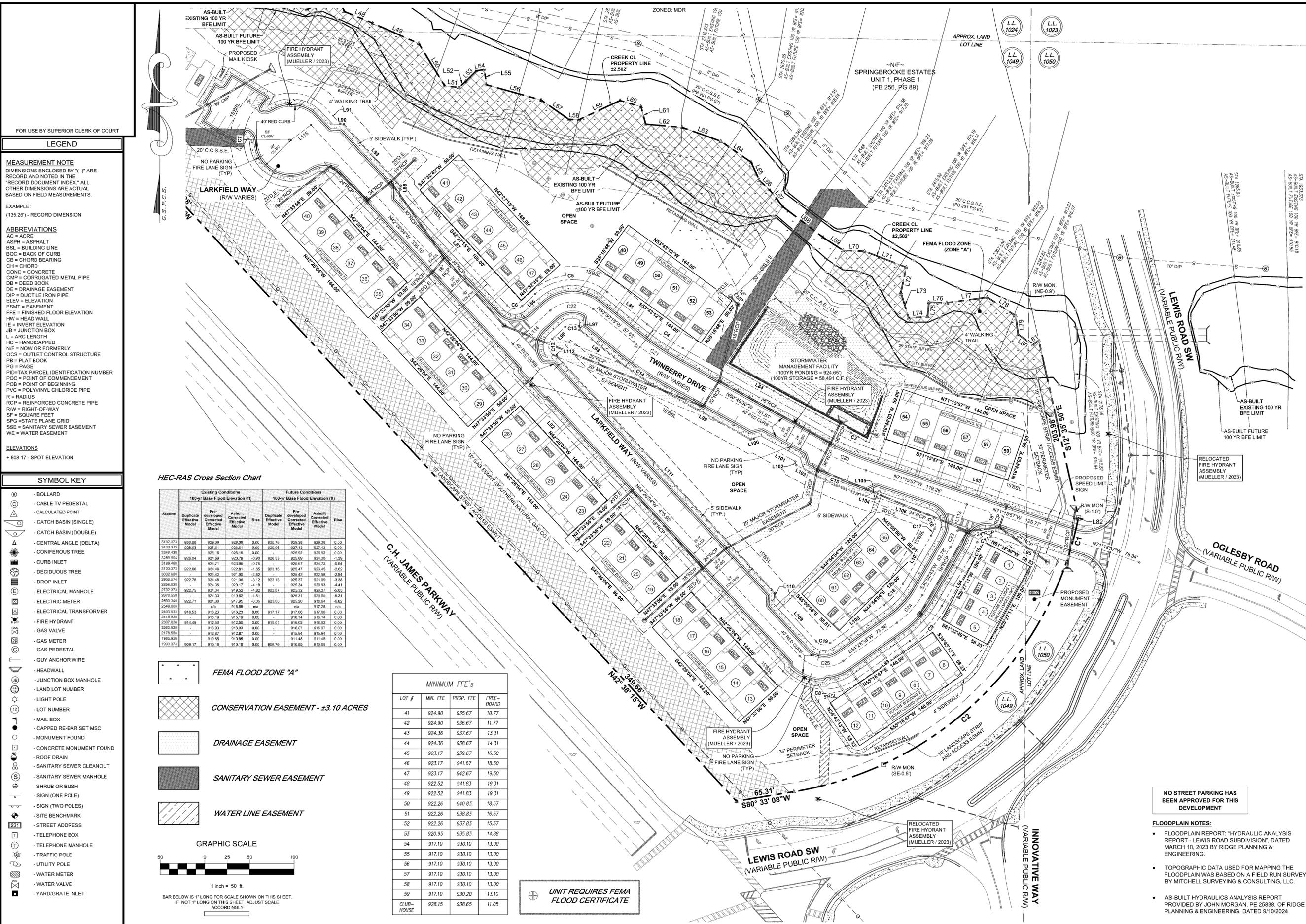
DRAWING INFORMATION

CAD FILE: 22083.10-FINAL-1.DWG
DRAWN BY: RPH CHECKED BY: CRM

SHEET NAME:

PLAN A

PROJECT: 22083.10 SHEET 4 OF 5



LEGEND

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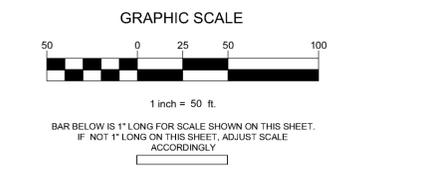
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- ELECTRICAL TRANSFORMER
- FIRE HYDRANT
- GAS VALVE
- GAS METER
- GAS PEDESTAL
- GUY ANCHOR WIRE
- HEADWALL
- JUNCTION BOX MANHOLE
- LAND LOT NUMBER
- LIGHT POLE
- LOT NUMBER
- MAIL BOX
- CAPPED RE-BAR SET MSC
- MONUMENT FOUND
- CONCRETE MONUMENT FOUND
- ROOF DRAIN
- SANITARY SEWER CLEANOUT
- SANITARY SEWER MANHOLE
- SHRUB OR BUSH
- SIGN (ONE POLE)
- SIGN (TWO POLES)
- SITE BENCHMARK
- STREET ADDRESS
- TELEPHONE BOX
- TELEPHONE MANHOLE
- TRAFFIC POLE
- UTILITY POLE
- WATER METER
- WATER VALVE
- YARD/GRATE INLET

HEC-RAS Cross Section Chart

Station	Existing Conditions 100-yr Base Flood Elevation (ft)				Future Conditions 100-yr Base Flood Elevation (ft)			
	Duplicate Effective Model	Pre-developed Corrected Effective Model	As-built Corrected Effective Model	Rise	Duplicate Effective Model	Pre-developed Corrected Effective Model	As-built Corrected Effective Model	Rise
3732.372	936.08	929.09	929.09	0.00	930.76	929.38	929.38	0.00
3433.373	926.63	925.61	925.61	0.00	929.08	927.43	927.43	0.00
3348.430		925.15	925.15	0.00	925.52	925.52	0.00	
3289.904	926.04	924.69	923.79	-0.80	926.53	925.69	925.30	-1.36
3189.450	924.71	923.90	-0.75	920.47	924.74	-0.94		
3133.370	922.66	924.48	922.81	-1.85	923.16	925.47	923.45	-2.02
3022.090		924.42	921.90	-2.52	925.47	922.58	-2.84	
2930.574	922.78	924.48	921.36	-3.12	923.13	925.37	921.99	-3.38
2886.030		924.35	920.17	-4.18	925.34	920.93	-4.41	
2732.373	922.75	924.34	919.52	-3.22	923.07	925.32	920.27	-5.05
2670.650	924.93	924.93	919.02	-5.91	925.31	920.00	-5.31	
2593.345	922.71	924.30	917.95	-4.76	923.00	925.26	918.64	-6.62
2548.030		919	918.98	-0.02	919	917.25	-1.75	
2493.633	916.53	916.23	916.23	0.00	917.17	917.65	917.65	0.00
2415.920		915.19	915.19	0.00	916.14	915.14	0.00	
2307.826	914.49	912.50	912.50	0.00	915.01	916.02	916.02	0.00
2262.620	913.03	913.03	913.03	0.00	916.07	915.07	0.00	
2178.580		912.87	912.87	0.00	915.94	915.94	0.00	
1965.920		910.85	910.85	0.00	911.48	911.48	0.00	
1920.373	906.17	910.18	910.18	0.00	909.76	910.65	910.65	0.00

- FEMA FLOOD ZONE "A"
- CONSERVATION EASEMENT - ±3.10 ACRES
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- WATER LINE EASEMENT



LOT #	MIN. FFE	PROP. FFE	FREE-BOARD
41	924.90	935.67	10.77
42	924.90	936.67	11.77
43	924.36	937.67	13.31
44	924.36	938.67	14.31
45	923.17	939.67	16.50
46	923.17	941.67	18.50
47	923.17	942.67	19.50
48	922.52	941.83	19.31
49	922.52	941.83	19.31
50	922.26	940.83	18.57
51	922.26	938.83	16.57
52	922.26	937.83	15.57
53	920.95	935.83	14.88
54	917.10	930.10	13.00
55	917.10	930.10	13.00
56	917.10	930.10	13.00
57	917.10	930.10	13.00
58	917.10	930.10	13.00
59	917.10	930.20	13.10
CLUB-HOUSE	928.15	938.65	11.05

UNIT REQUIRES FEMA FLOOD CERTIFICATE

NO STREET PARKING HAS BEEN APPROVED FOR THIS DEVELOPMENT

- FLOODPLAIN NOTES:
- FLOODPLAIN REPORT: "HYDRAULIC ANALYSIS REPORT - LEWIS ROAD SUBDIVISION", DATED MARCH 10, 2023 BY RIDGE PLANNING & ENGINEERING.
 - TOPOGRAPHIC DATA USED FOR MAPPING THE FLOODPLAIN WAS BASED ON A FIELD RUN SURVEY BY MITCHELL SURVEYING & CONSULTING, LLC.
 - AS-BUILT HYDRAULICS ANALYSIS REPORT PROVIDED BY JOHN MORGAN, PE 25838, OF RIDGE PLANNING & ENGINEERING, DATED 9/10/2024

MITCHELL SURVEYING & CONSULTING, LLC
 Surveying • Construction Layout • Consulting
 3201 South Cherokee Lane • Suite 310
 Woodstock, GA 30188
 Tel. 770-924-2955 Fax: 770-485-9073
 Email: cmitchell@mssc-survey.com

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PREPARED FOR
TRATON HOMES
 720 KENNESAW AVE
 MARIETTA, GA 30060

FINAL PLAT
WILDWOOD PLACE SUBDIVISION
 (FKA WESTPARK S/D)
 SITUATED IN LAND LOTS 1024, 1049 & 1050
 19th DISTRICT, 2nd SECTION
 CITY OF POWDER SPRINGS
 COBB COUNTY, GEORGIA

REGISTERED LAND SURVEYOR
 CHARLES R. MITCHELL
 No. 3240
 05 / 24 / 2024

SHEET RECORD

DATE	DESCRIPTION
05/24/2024	ISSUED
06/20/2024	2nd Sub - COMMENTS
08/09/2024	3rd Sub - COMMENTS
08/26/2024	4th Sub - COMMENTS
09/11/2024	5th Sub - COMMENTS

DRAWING INFORMATION
 CAD FILE: 22083.10-FINAL-1.DWG
 DRAWN BY: RPH CHECKED BY: CRM

SHEET NAME:
PLAN B

FOR USE BY SUPERIOR CLERK OF COURT

LEGEND

MEASUREMENT NOTE
 DIMENSIONS ENCLOSED BY "()" ARE RECORD AND NOTED IN THE "RECORD DOCUMENT INDEX" ALL OTHER DIMENSIONS ARE ACTUAL BASED ON FIELD MEASUREMENTS.

EXAMPLE:
 (135.26) - RECORD DIMENSION

ABBREVIATIONS
 AC = ACRE
 ASPH = ASPHALT
 BSL = BUILDING LINE
 BOC = BACK OF CURB
 CB = CHORD BEARING
 CH = CHORD
 CONC = CONCRETE
 CMP = CORRUGATED METAL PIPE
 DB = DEED BOOK
 DE = DRAINAGE EASEMENT
 DIP = DUCTILE IRON PIPE
 ELEV = ELEVATION
 ESMT = EASEMENT
 FFE = FINISHED FLOOR ELEVATION
 HW = HEAD WALL
 IE = INVERT ELEVATION
 JB = JUNCTION BOX
 L = ARC LENGTH
 HC = HANDICAPPED
 N/F = NOW OR FORMERLY
 OCS = OUTLET CONTROL STRUCTURE
 PB = PLAT BOOK
 PG = PAGE
 PID=TAX PARCEL IDENTIFICATION NUMBER
 POC = POINT OF COMMENCEMENT
 POB = POINT OF BEGINNING
 PVC = POLYVINYL CHLORIDE PIPE
 R = RADIUS
 RCP = REINFORCED CONCRETE PIPE
 RW = RIGHT-OF-WAY
 SF = SQUARE FEET
 SPG = STATE PLANE GRID
 SSE = SANITARY SEWER EASEMENT
 WE = WATER EASEMENT

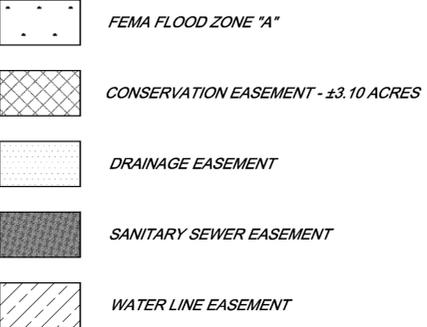
ELEVATIONS
 + 608.17 - SPOT ELEVATION

SYMBOL KEY

- BOLLARD
- CABLE TV PEDESTAL
- CALCULATED POINT
- CATCH BASIN (SINGLE)
- CATCH BASIN (DOUBLE)
- CENTRAL ANGLE (DELTA)
- CONIFEROUS TREE
- CURB INLET
- DECIDUOUS TREE
- DROP INLET
- ELECTRICAL MANHOLE
- ELECTRIC METER
- ELECTRICAL TRANSFORMER
- FIRE HYDRANT
- GAS VALVE
- GAS METER
- GAS PEDESTAL
- GUY ANCHOR WIRE
- HEADWALL
- JUNCTION BOX MANHOLE
- LAND LOT NUMBER
- LIGHT POLE
- MAIL BOX
- CAPPED RE-BAR SET MSC
- MONUMENT FOUND
- CONCRETE MONUMENT FOUND
- ROOF DRAIN
- SANITARY SEWER CLEANOUT
- SANITARY SEWER MANHOLE
- SHRUB OR BUSH
- SIGN (ONE POLE)
- SIGN (TWO POLES)
- SITE BENCHMARK
- STREET ADDRESS
- TELEPHONE BOX
- TELEPHONE MANHOLE
- TRAFFIC POLE
- UTILITY POLE
- WATER METER
- WATER VALVE
- YARD/GRATE INLET

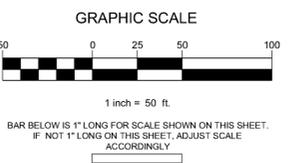
HEC-RAS Cross Section Chart

Station	Existing Conditions 100-yr Base Flood Elevation (ft)				Future Conditions 100-yr Base Flood Elevation (ft)			
	Duplicate Effective Model	Pre-developed Corrected Effective Model	As-built Corrected Effective Model	Rise	Duplicate Effective Model	Pre-developed Corrected Effective Model	As-built Corrected Effective Model	Rise
3732.373	826.08	826.95	826.95	0.00	831.78	829.38	829.38	0.00
3433.373	826.63	826.81	826.81	0.00	829.09	827.43	827.43	0.00
3348.430	-	825.15	825.15	0.00	-	825.92	825.92	0.00
3259.394	826.04	824.89	823.78	-0.90	825.53	823.69	824.30	-1.39
3179.460	824.71	822.96	-	-	823.67	820.73	-0.94	
3133.373	822.66	824.46	822.81	-1.65	823.16	822.47	822.45	-2.02
3052.880	824.42	821.90	-2.62	-	825.42	822.58	-2.84	
2970.274	822.78	824.48	821.98	-3.12	823.13	825.92	821.98	-3.38
2896.030	824.35	820.17	-4.18	-	825.34	820.93	-4.41	
2722.373	822.78	824.34	819.52	-4.82	823.07	825.27	-5.55	
2670.590	824.33	819.52	-4.81	-	823.31	820.93	-5.31	
2603.345	822.71	824.30	817.85	-5.35	823.00	819.84	-6.62	
2548.000	824.00	819.52	-4.81	-	823.31	820.93	-5.31	
2490.520	816.53	818.23	816.23	0.00	817.17	817.66	817.66	0.00
2415.920	815.19	815.19	0.00	-	816.14	816.14	0.00	
2307.828	814.49	812.50	812.50	0.00	815.01	816.02	816.02	0.00
2253.820	813.03	813.03	0.00	-	815.07	815.07	0.00	
2175.580	812.87	812.87	0.00	-	815.94	815.94	0.00	
1685.920	810.85	810.85	0.00	-	811.48	811.48	0.00	
1323.373	806.17	810.18	810.18	0.00	809.78	810.85	810.85	0.00

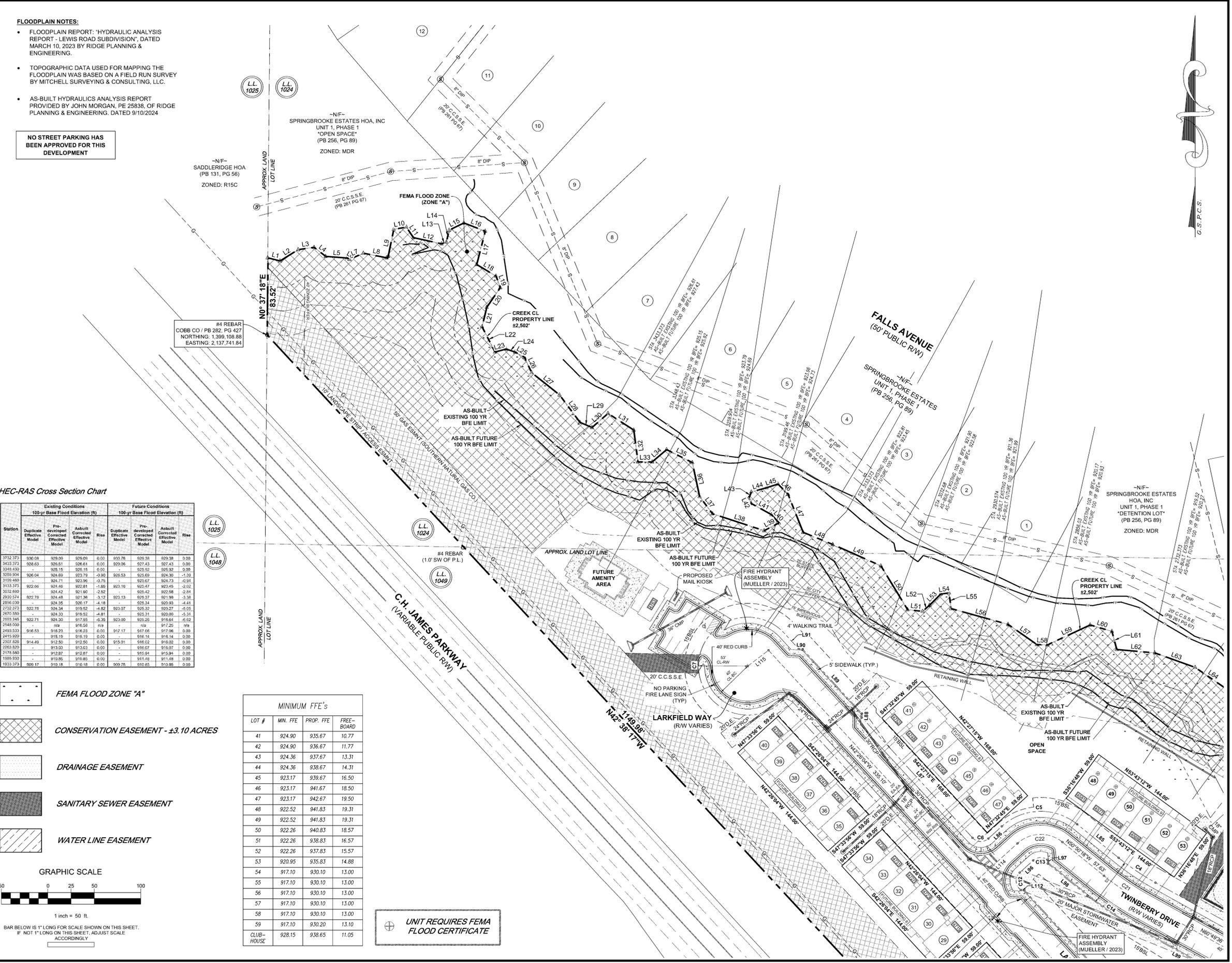


MINIMUM FFE'S

LOT #	MIN. FFE	PROP. FFE	FREE-BOARD
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42	924.90	936.67	11.77
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NO STREET PARKING HAS BEEN APPROVED FOR THIS DEVELOPMENT

#4 REBAR
 COBB CO / PB 282, PG 427
 NORTHING: 1,399,108.88
 EASTING: 2,137,741.84

#4 REBAR
 (1' SW OF P.L.)