

CLERK OF THE SUPERIOR COURT
RECORDING INFORMATION

SYMBOL LEGEND table with symbols for HEADWALL, FLARED END SECTION, SINGLE WING CATCH BASIN, DOUBLE WING CATCH BASIN, PEDESTAL INLET, JUNCTION BOX, GRATE INLET, FIRE HYDRANT, VALVE, WATER METER, SANITARY SEWER MANHOLE, SANITARY SEWER CLEANOUT, IRON PIN FOUND (TYPE NOTED), IRON PIN SET, CONCRETE MONUMENT FOUND (CMF).

ABBREVIATION LEGEND table with abbreviations like SSE, DE, AE, RBF, CTFP, OTFP, BSL and their corresponding descriptions.

LINE LEGEND table with line styles for STORM SEWER, SANITARY SEWER, and WATER MAIN.

THE UNDERGROUND UTILITIES (EXCEPT THE LOCATION OF EXISTING DRAINAGE, SEWER AND IRRIGATION UTILITIES) ARE LOCATED UTILIZING RADIO FREQUENCY TECHNIQUE. THIS TECHNIQUE IS CAPABLE OF LOCATING METALLIC UTILITIES AND TRACER WIRES. ANY NON-METALLIC UTILITIES (WITHOUT TRACER WIRES) WILL NOT BE LOCATED.

THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. UNDERGROUND UTILITIES NOT OBSERVED OR LOCATED UTILIZING THIS TECHNIQUE MAY EXIST ON THIS SITE BUT NOT BE SHOWN, AND MAY BE FOUND UPON EXCAVATION.

INFORMATION REGARDING MATERIAL AND SIZE OF UTILITIES IS BASED ON RECORDS ACQUIRED FROM THE UTILITY OWNERS

FIRE NOTES: 1. SITE PLAN APPROVAL DOES NOT INCLUDE TANKS. TANKS SHALL BE PERMITTED SEPARATELY AT CCFMO. 2. NO GATE SHALL BE INSTALLED WITHOUT FIRE MARSHAL APPROVAL. 3. ANY STAIRS OR MEANS OF EGRESS COMPONENT SHOWN ON THESE PLANS IS OUTSIDE OF THE LAND DISTURBANCE PERMIT REVIEW PROCESS.

FIRE DEMO / CONSTRUCTION NOTES: 1. MAINTAIN ACCESS FOR FIRE APPARATUS TO ALL BUILDINGS UNDER CONSTRUCTION INCLUDING TIMES OF RAIN OR MUD. ROADS SHALL BE MAINTAINED AND MINIMALLY PROVIDED WITH CRUSHED STONE BASE AT 20' WIDE.

GENERAL SURVEY NOTES: 1. BUILDER ON EACH LOT SHALL PROVIDE EROSION AND SEDIMENT CONTROL MEASURES TO PREVENT SEDIMENT FROM ENTERING ANY ADJACENT LOT OR PUBLIC ROADWAY. 2. STATE LAW PROHIBITS THE PRIVATE CONSTRUCTION, PLANTING, OR OTHERWISE MAKING IMPROVEMENTS ON THE DEDICATED RIGHT OF WAY.

COBB COUNTY WATER SYSTEM NOTES: 1. NO PERMANENT STRUCTURES SHALL BE CONSTRUCTED WITHIN TEN (10) FEET OF THE EDGE OF A PERMANENT COBB COUNTY WATER OR SANITARY EASEMENT ON FRONT OR REAR SETBACKS.

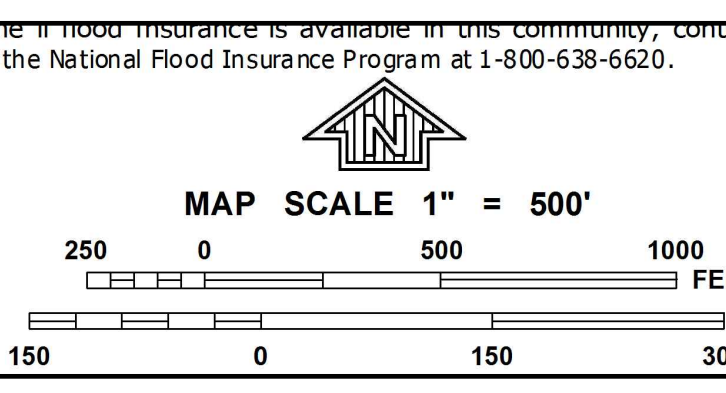
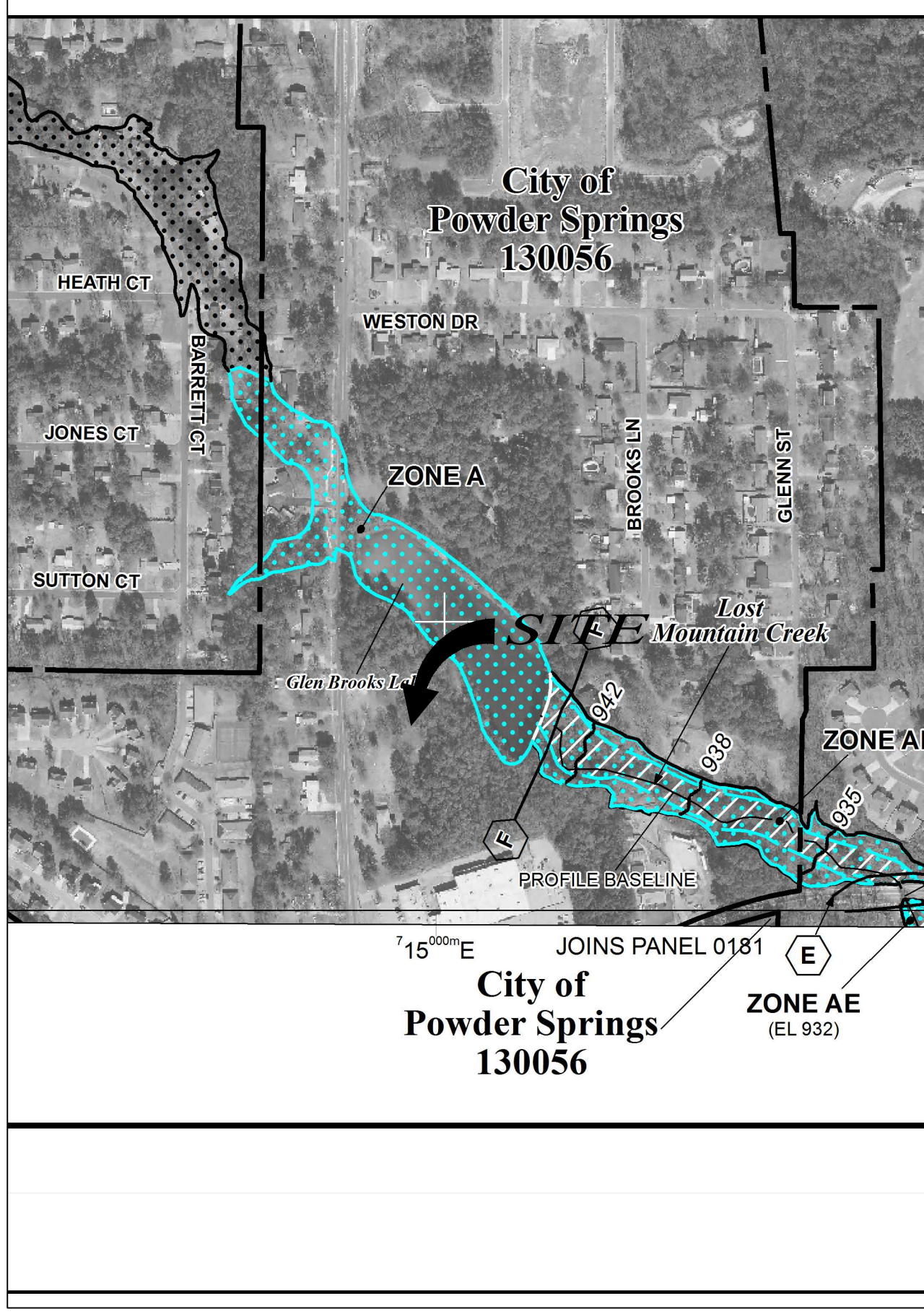
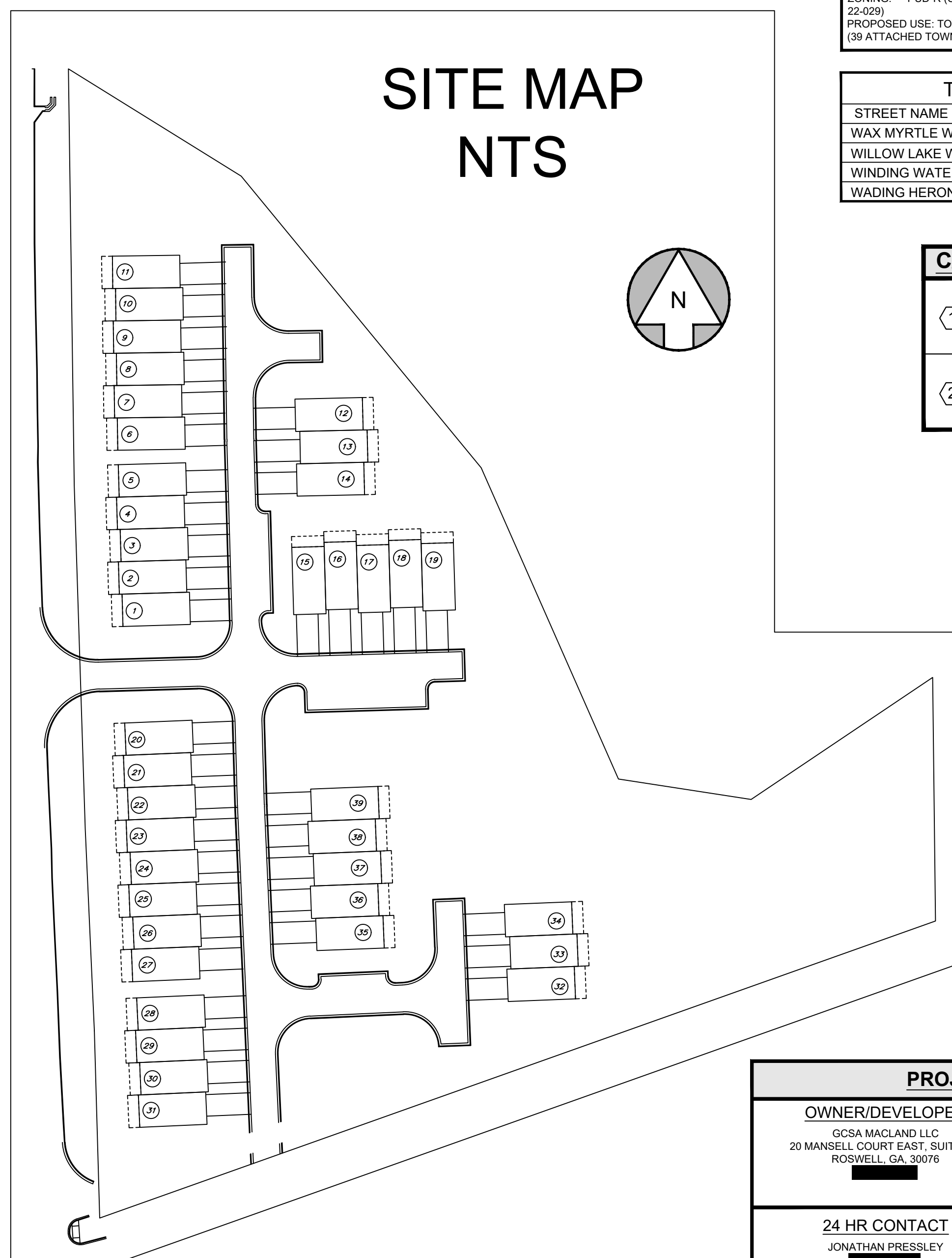
ZONING NOTES: 1. PER SEC. 5-64 OF THE UDC, FLOOR PLANS AND BUILDING ELEVATIONS SHALL NOT BE REPEATED AT A RATE GREATER THAN THE SAME PLAN AND ELEVATION ONCE EVERY FIVE BUILDING LOTS ALONG THE SAME STREET FRONTAGE.

DEVELOPMENT SUMMARY table with fields for OWNER, JURISDICTION, LOTS, OPEN SPACE, SITE AREA, DENSITY, ZONING, PROPOSED USE, SETBACKS, FRONT REAR, SIDE, MAX. BLDG. HEIGHT, PARKING CALCULATIONS.

TABLE OF DEDICATION table with columns for STREET NAME and LENGTH IN L.F., listing WAX MYRTLE WAY, WILLOW LAKE WAY, WINDING WATERS WAY, and WADING HERON WAY.

C/L ROAD CURVE DATA table with curve identifiers 1 and 2, and their respective curve data (Delta, R, L, T).

Table with columns LOT NO. and AREA (SQ. FT.), listing lots 1 through 64 and their corresponding areas.



FIRM FLOOD INSURANCE RATE MAP COBB COUNTY, GEORGIA AND INCORPORATED AREAS. PANEL 0093H, MAP NUMBER 13067C0093H, MAP REVISED MARCH 4, 2013.

UTILITY LOCATION NOTE: LOCATION OF UTILITIES EXISTING ON OR SERVING THE SUBJECT PROPERTY IS DETERMINED BY OBSERVABLE EVIDENCE ONLY.

WETLANDS NOTE: WETLANDS SHOWN WITHIN THE BOUNDARY OF THIS SITE (SHADED AREAS) ARE PROTECTED BY FEDERAL LAW AND ARE UNDER THE JURISDICTION OF THE UNITED STATES CORPS OF ENGINEERS.

FLOOD PLAIN NOTE: THIS PARCEL OF LAND IS IN THE 100 YEAR FLOOD PLAIN AND IS IN ZONE PUD-R, ACCORDING TO F.E.M.A. (F.I.A.) COMMUNITY NUMBER #130092.

GPS NOTES: 1.) HORIZONTAL DATUM IS NAD 83. VERTICAL DATUM IS NAVD 88. 2.) THE NORTHING, EASTING, AND ELEVATION OF THE STARTING POINTS FOR THIS SURVEY WERE OBTAINED UTILIZING A TRIMBLE 8800 GPS RECEIVER WITH A TRIMBLE TSC2 DATA COLLECTOR.

REGULAR CLOSED TRAVERSE NOTE: THIS PLAT IS PREPARED FROM A FIELD SURVEY USING A FIVE SECOND DIGITAL THEODOLITE AND ELECTRONIC DISTANCE METER. LINEAR PRECISION OF TRAVERSE: 1/18613 ANGULAR ERROR: 4" PER POINT.

PROJECT CONTACTS table with sections for OWNER/DEVELOPER, PROJECT ENGINEER, 24 HR CONTACT, and CONTRACTOR.

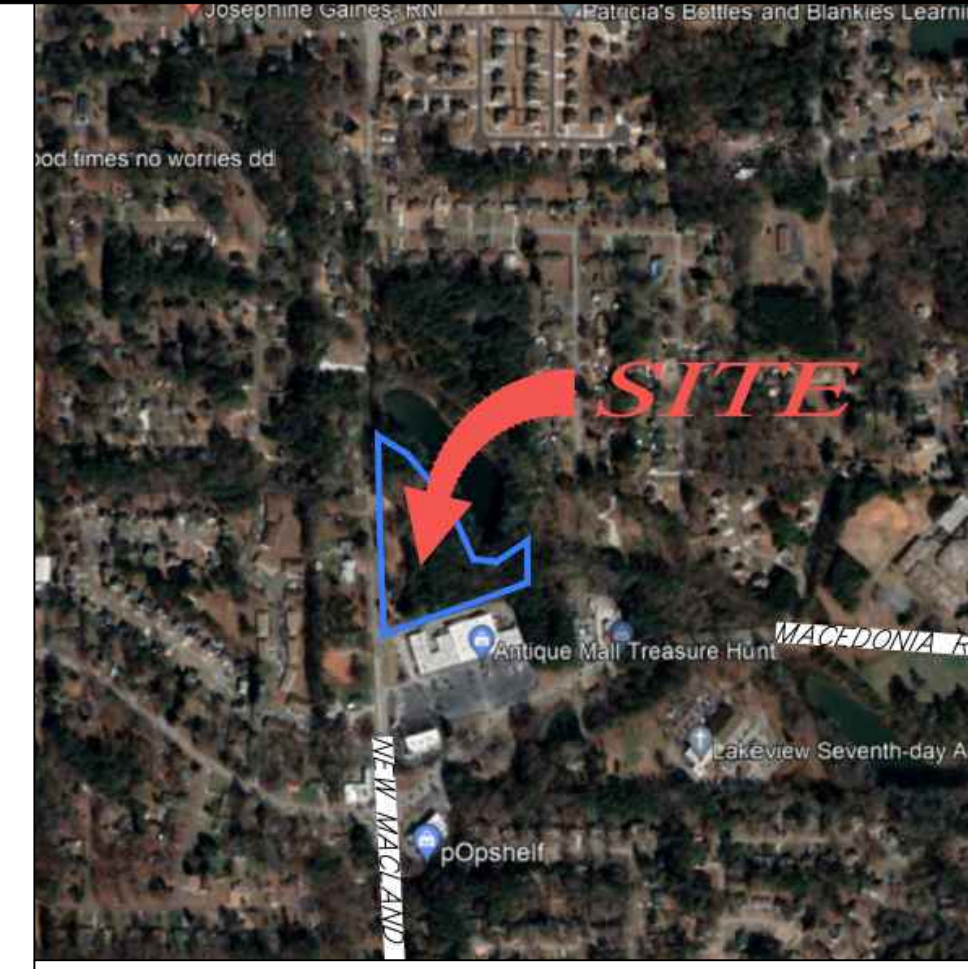
BENCHMARK NOTE: BENCHMARK: TOP OF FIRE HYDRANT ELEVATION: LOCATED:

COVENANT STATEMENT: THIS PLAT IS SUBJECT TO DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS AS RECORDED IN DEED BOOK PAGE, RECORDED, COBB COUNTY DEED RECORDS.

PLAT PURPOSE STATEMENT: THE PURPOSE OF THIS PLAT IS TO SHOW THE UTILITIES FOR SINGLE FAMILY TOWNHOMES AND SHOW THE LOCATION SAID TOWNHOMES ON THE OVERALL TRACT.

THE OWNER HEREBY DESIGNATES RAFAEL LEYVA AS THE FIRE PREVENTION PROGRAM SUPERINTENDENT. THE ABOVE-NAMED PERSON SHALL BE RESPONSIBLE FOR COMPLIANCE WITH IFC CHAPTER 3300 IN ITS ENTIRETY AND NFPA 241-09.

NO STREET PARKING HAS BEEN APPROVED FOR THIS DEVELOPMENT



SURVEYOR'S CERTIFICATE: IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY BY ME OR UNDER MY SUPERVISION.

OWNER'S CERTIFICATION AND DEDICATION: I HEREBY CERTIFY THAT I AM THE OWNER OF THE LAND SHOWN ON THIS PLAT (OR A DULY AUTHORIZED AGENT THEREOF) WHOSE NAME IS SUBSCRIBED HERETO.

CERTIFICATE OF FINAL PLAT APPROVAL: ALL APPLICABLE REQUIREMENTS OF THE POWDER SPRINGS UNIFIED DEVELOPMENT CODE RELATIVE TO FINAL PLATS HAVING BEEN FULFILLED.

COBB COUNTY WATER SYSTEM APPROVAL: THIS PLAT, HAVING BEEN SUBMITTED TO THE COBB COUNTY WATER SYSTEM AND HAVING BEEN FOUND TO COMPLY WITH THE COBB COUNTY DEVELOPMENT STANDARDS IS APPROVED FOR RECORDING.

SURVEYOR'S CERTIFICATION: AS REQUIRED BY SUBSECTION (D) OF O.G.C.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON.

GASKINS + LECRAW logo and contact information: 1266 POWDER SPRINGS RD SW, MARIETTA, GA 30064, PHONE, www.gaskinslecraw.com, LSF001371

REVISIONS table with columns for REV #, REV #, DATE, DRAWN, CHECKED, DATE, BY.

FINAL PLAT CONCORD OAKS LAND LOTS 682 & 725, 19th DISTRICT, 2nd SECTION CITY OF POWDER SPRINGS, COBB COUNTY, GEORGIA. CLIENT: GCSA MACLAND, LLC. 20 MANSELL COURT EAST, SUITE 100 ROSWELL, GEORGIA 30076

CALL BEFORE YOU DIG 811 Know what's below. Call before you dig.

SCALE & NORTH ARROW: SURVEY INFO: DRAWN BY: TJH, REVIEWED BY: JAH, FIELD DATE: 4-29-24, OFFICE DATE: 5-09-24, JOB #: 02309055 A03

FINAL PLAT 1 OF 4

CLERK OF THE SUPERIOR COURT RECORDING INFORMATION

Memorandum

Date: January 18, 2022. To: Mayor and Council From: Community Development Subject: PZ 21-045; Rezoning Request: From NRC and R-20 to PUD-R, property located at 3189, 3215, and 3149 New Macland Road. Action:

A motion to APPROVE this rezoning request, with the following stipulations:

- 1. The within stipulations apply to the applicant and owner herein, their heirs, successors and assigns, regardless of the party to which any particular stipulation may be addressed. 2. The applicant shall submit a revised site plan compliant with these stipulations for Administrative Review. 3. No housing units shall be constructed within the potential break point zone of the adjacent wireless communication tower. 4. The existing cell tower on the site does not meet the zoning stipulations of PZ 17-008.

- 5. Each deed to a purchaser or purchasers of any or all residential units constructed on the subject property shall contain the following notice: 6. A recreation area shall be provided at a ratio of 1 acre per 50 units (or a proportional percentage thereof) with a minimum of 10,000 square feet provided. 7. All residential units shall have two-car garages, and the parking pads/driveway in front of the garage shall be a minimum of 22 feet in length. 8. The setback are as follows: Front: 15 feet from right-of-way Perimeter: 35 feet setback (except for along New Macland Rd) New Macland Road: 20 ft building setback Between buildings: Minimum of 10 feet Rear Setback: 20 feet Design Review shall be conducted via Administrative Review. 9. Units must be staggered to the extent required by code, they must provide some staggering or variation as approved by an Administrative Design Review. 10. Materials to be used on exterior facades of all buildings shall include no less than 50% brick or stone, on the front and side facades. 11. The creation of a mandatory Homeowners' Association ("HOA") and the submission of Declaration of Covenants, Conditions and Restrictions ("CCRs") during the Plan Review process, which shall include, among other components, strict architectural controls. 12. The submission of a landscape plan during the Plan Review process which shall be subject to review and approval by the Community Development Director.

- a. Detention pond landscaping and screening plan for around the proposed detention and water quality areas with Cryptomeria, Arborvitae and/or other evergreen trees. b. Compliance with landscape section renderings/elevations which will be submitted under separate cover during the Plan Review process. c. The landscape plan, which shall be prepared, stamped and signed by a Georgia Registered Landscape Architect or a degree Horticulturist and shall identify open space areas; landscaped common areas; and other components of the proposed Residential Community which will be further identified during the Plan Review process. d. The installation of underground utilities and the utilization of decorative lighting themed to the architectural style and composition as above mentioned. e. All HVAC, mechanical systems and home utilities within the community shall be screened by way of fencing and/or landscaping. f. Entry signage for the proposed Residential Community shall be ground-based, monument-style, landscaped, lighted and irrigated. g. The installation of landscaped front, side, and rear yards. h. Compliance with the City's current Tree Preservation & Replacement Ordinance and substantial conformity to all tree protection measures and the adherence to same during the construction and build out of the Residential Community. 13. A third-party management company shall be hired to manage the day-to-day operations of the HOA and shall also be responsible for the management of all Association monies as well as insuring that the Association is properly insured until such time as the HOA makes a determination that it can undertake such responsibilities. 14. The Community Development Director shall have the authority to approve minor modifications to these stipulations, the architectural renderings/elevations, the site plan and the overall proposal as it proceeds through the Plan Review process and thereafter except for those that: a) Increase the density of the Residential Community. b) Relocate a structure closer to the property line of adjacent property which is zoned the same or in a more restrictive zoning district. c) Increase the height of a building which is adjacent to property which is zoned in the same or more restrictive zoning district. d) Change access locations to different rights-of-way. 15. Road frontages will be heavily and professionally landscaped which may include the use of berm, fencing, and substantial plant material to provide for visual screening. 16. Sidewalk and gutter shall be developed along the New Macland Road frontage. 17. If actual construction on the site is inactive for a period of 6 months or more, the site be replanted per a plan approved by the Community Development Director showing compliance with minimum tree canopy, street trees and buffer.

- 18. The recorded covenants for this property shall provide: (a) Declarant or any builder constructing homes within the proposed community must sell any such home for owner occupancy only. (b) Thereafter, leasing of any units within the entire development, shall have a minimum lease term of one (1) year. (c) The mandatory homeowners association must maintain records dealing with any lease within the Development, and such records shall be made available and subject to review by the City of Powder Springs personnel with regard to enforcement of this provision limiting the total number of leases within the Development to no more than 5%. (d) The homeowner association shall agree to provide, upon request to the City of Powder Springs, and all information relating to existing leases at the time of any such request by the City. (e) The City shall be named a third-party beneficiary entitled but not obligated to enforce this provision of the covenants. 19. Traffic improvements shall be required as follows: a potential deceleration lane on New Macland Road and Cross access into the adjacent retail center. This traffic improvement and all other traffic improvements required as a result of city engineer review shall be the responsibility of the applicant.

So motioned, this 18th day of January 2022.

Albert Thurman, Mayor Patrick Bordelon, Council Member Doris Dawkins, Council Member Patricia Wisdom, Council Member Henry Lutz, Council Member Dwayne Green, Council Member

Attest: Kelly Axt, City Clerk

Memorandum

Date: September 19, 2022. To: Mayor and Council From: Community Development Subject: PZ 22-029, Rezoning: New Macland Road. To consider a change in zoning conditions. The property is located at 3189, 3215, and 3149 New Macland Road. PINs: 19072500020, 19072500090, 19068200030. Action:

Should approval be considered, staff proposes the following conditions:

- 1. To revise Stipulation 2, case number PZ 21-045 on January 18th, 2022 to read as follows: The applicant has worked with TSW (Comprehensive Plan Consultant) to revise the site plan. TSW has made recommendation for rear-entry lots within this development, and the applicant has determined that rear entry lots here are not feasible. As an alternative to this stipulation, the applicant has agreed to revise the site plan to show a central greenspace. This may result in the elimination of the five lots currently labeled as 26-30, or the relocation or reconfiguration of these lots to create this greenspace. 2. All current conditions in place for the subject site, approved under the case number PZ 21-045 on January 18th, 2022, remain in full effect except for the stipulation numbered 2 which required the applicant to submit and pay for external site plan review.

So motioned, this 19th day of September 2022.

Albert Thurman, Mayor Patrick Bordelon, Council Member Doris Dawkins, Council Member

Attest: Kelly Axt, City Clerk

Patricia Wisdom, Council Member Henry Lutz, Council Member Dwayne Green, Council Member

LINE LEGEND table with symbols for STORM SEWER, SANITARY SEWER, WATER MAIN.

ABBREVIATION LEGEND table with symbols for SANITARY SEWER EASEMENT, DRAINAGE EASEMENT, ACCESS EASEMENT, REBAR FOUND, CRIMP TOP PIPE FOUND, OPEN TOP PIPE FOUND, BUILDING SETBACK LINE.

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SURVEYOR'S CERTIFICATION section with text regarding O.G.C.A. requirements and a signature stamp for Jason A. Hopkins, Registered Land Surveyor No. 3215.

PROJECT CONTACTS table with columns for OWNER/DEVELOPER, PROJECT ENGINEER, 24 HR CONTACT, and CONTRACTOR.

GASKINS + LECRAW logo and contact information: 1266 POWDER SPRINGS RD SW, MARIETTA, GA 30064, www.gaskinslecrow.com

REVISIONS table with columns for DATE, DRAWN BY, CHECKED BY, REV #.

FINAL PLAT CONCORD OAKS LAND LOTS 682 & 725, 19TH DISTRICT, 2ND SECTION, CITY OF POWDER SPRINGS, COBB COUNTY, GEORGIA CLIENT: GCSA MACLAND, LLC 20 MANSELL COURT EAST, SUITE 100 ROSWELL, GA, 30076

811 logo and text: Know what's below. Call before you dig.

SCALE & NORTH ARROW section with a north arrow, scale bar (1" = 30'), and SURVEY INFO table.

Vertical text on the left edge: Drawing name: P:\Evergreen DRES-New Macland Rd Sub\SUBSURVEYING\FINAL\new macland rd final & sub.dwg, FN:2, May 17, 2024, 1:12pm, by: Sally Jordan

REVISIONS:

REV #	DATE	DRAWN BY	CHECKED BY

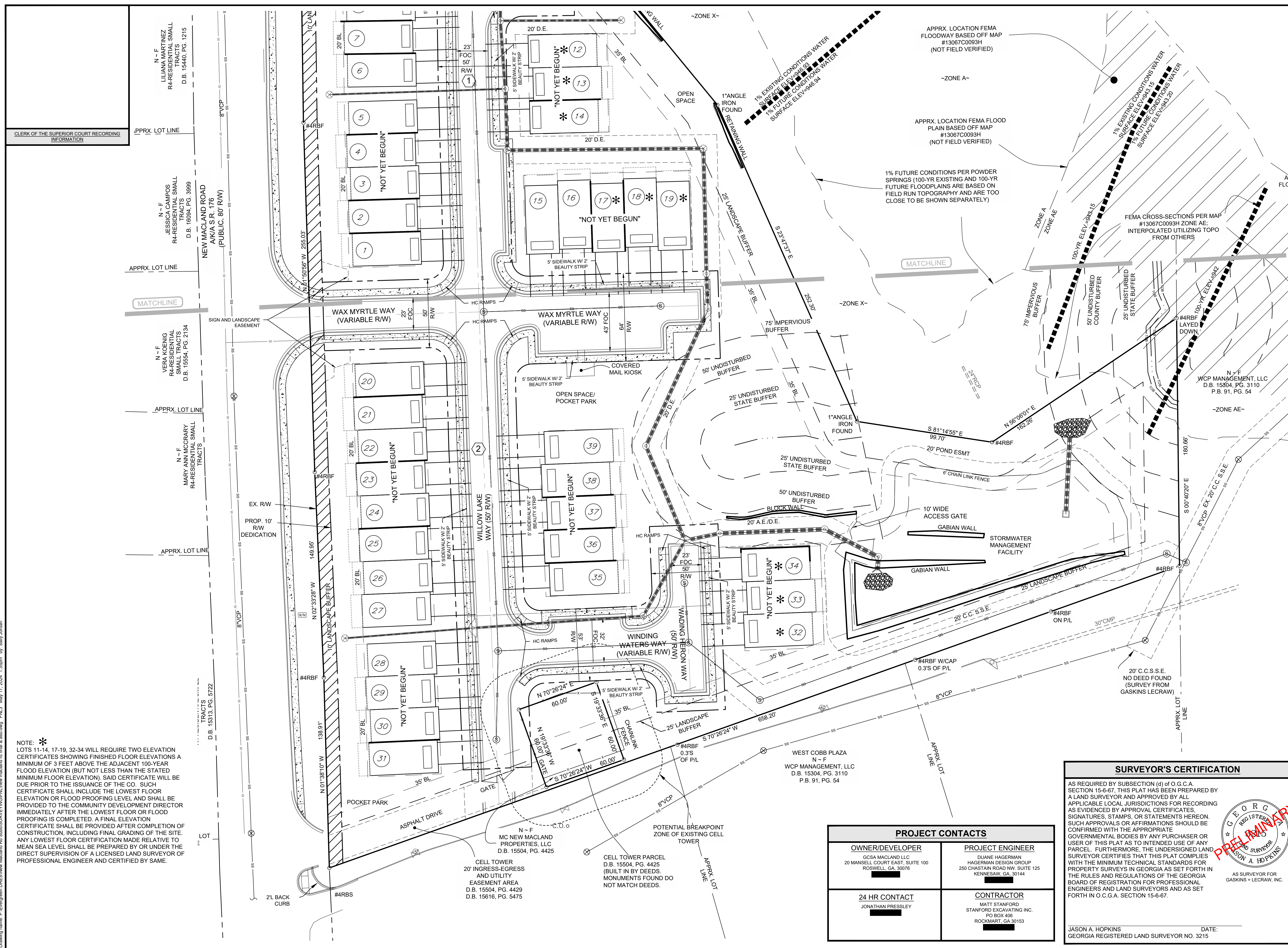
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 LAND LOTS 682 & 725, 19TH DISTRICT, 2ND SECTION
 CITY OF POWDER SPRINGS, COBB COUNTY, GEORGIA
 CLIENT
GCSA MACLAND, LLC
 20 MANSELL COURT EAST, SUITE 100
 ROSWELL, GA, 30076

CALL BEFORE YOU DIG
811
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SCALE & NORTH ARROW:

 SCALE: 1" = 30'
 GRID NORTH, GEORGIA WEST ZONE

SURVEY INFO:
 DRAWN BY: TJB
 REVIEWED BY: JAH
 FIELD DATE: 2/28/24
 OFFICE DATE: 3/20/24
 JOB #: 02309055.A03
FINAL PLAT



NOTE: *
 LOTS 11-14, 17-19, 32-34 WILL REQUIRE TWO ELEVATION CERTIFICATES SHOWING FINISHED FLOOR ELEVATIONS A MINIMUM OF 3 FEET ABOVE THE ADJACENT 100-YEAR FLOOD ELEVATION (BUT NOT LESS THAN THE STATED MINIMUM FLOOR ELEVATION). SAID CERTIFICATE WILL BE DUE PRIOR TO THE ISSUANCE OF THE CO. SUCH CERTIFICATE SHALL INCLUDE THE LOWEST FLOOR ELEVATION OR FLOOD PROOFING LEVEL AND SHALL BE PROVIDED TO THE COMMUNITY DEVELOPMENT DIRECTOR IMMEDIATELY AFTER THE LOWEST FLOOR OR FLOOD PROOFING IS COMPLETED. A FINAL ELEVATION CERTIFICATE SHALL BE PROVIDED AFTER COMPLETION OF CONSTRUCTION, INCLUDING FINAL GRADING OF THE SITE. ANY LOWEST FLOOR CERTIFICATION MADE RELATIVE TO MEAN SEA LEVEL SHALL BE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER AND CERTIFIED BY SAME.

PROJECT CONTACTS

OWNER/DEVELOPER GCSA MACLAND LLC 20 MANSELL COURT EAST, SUITE 100 ROSWELL, GA, 30076	PROJECT ENGINEER DUANE HAGERMAN HAGERMAN DESIGN GROUP 250 CHASTAIN ROAD NW, SUITE 125 KENNESAW, GA, 30144
24 HR CONTACT JONATHAN PRESSLEY	CONTRACTOR MATT STANFORD STANFORD EXCAVATING INC. PO BOX 406 ROOMART, GA 30153

SURVEYOR'S CERTIFICATION

AS REQUIRED BY SUBSECTION (d) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

AS SURVEYOR FOR GASKINS + LECRAW, INC.

JASON A. HOPKINS DATE: _____
 GEORGIA REGISTERED LAND SURVEYOR NO. 3215

Drawing name: P:\Evergreen\DRS\New_Macland_Rd_Subs\SURVEYING\Final & sub.dwg FNL3 May 17, 2024, 1:35pm by: Sally Jordan



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1266 POWDER SPRINGS RD SW
MARIETTA, GA 30064
PHONE: (770) 426-1100
www.gaskinslecrow.com

LSF001371

REVISIONS:

Table with columns: REV. #, DATE, CHECKED BY, DRAWN BY. Contains multiple empty rows for revision tracking.

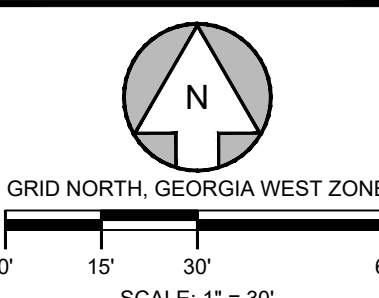
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SCALE & NORTH ARROW:



SURVEY INFO:

Table with columns: DRAWN BY, REVIEWED BY, FIELD DATE, OFFICE DATE, JOB #. Values include TJH, JAH, 2/28/24, 3/20/24, 02309055.A03.

FINAL PLAT

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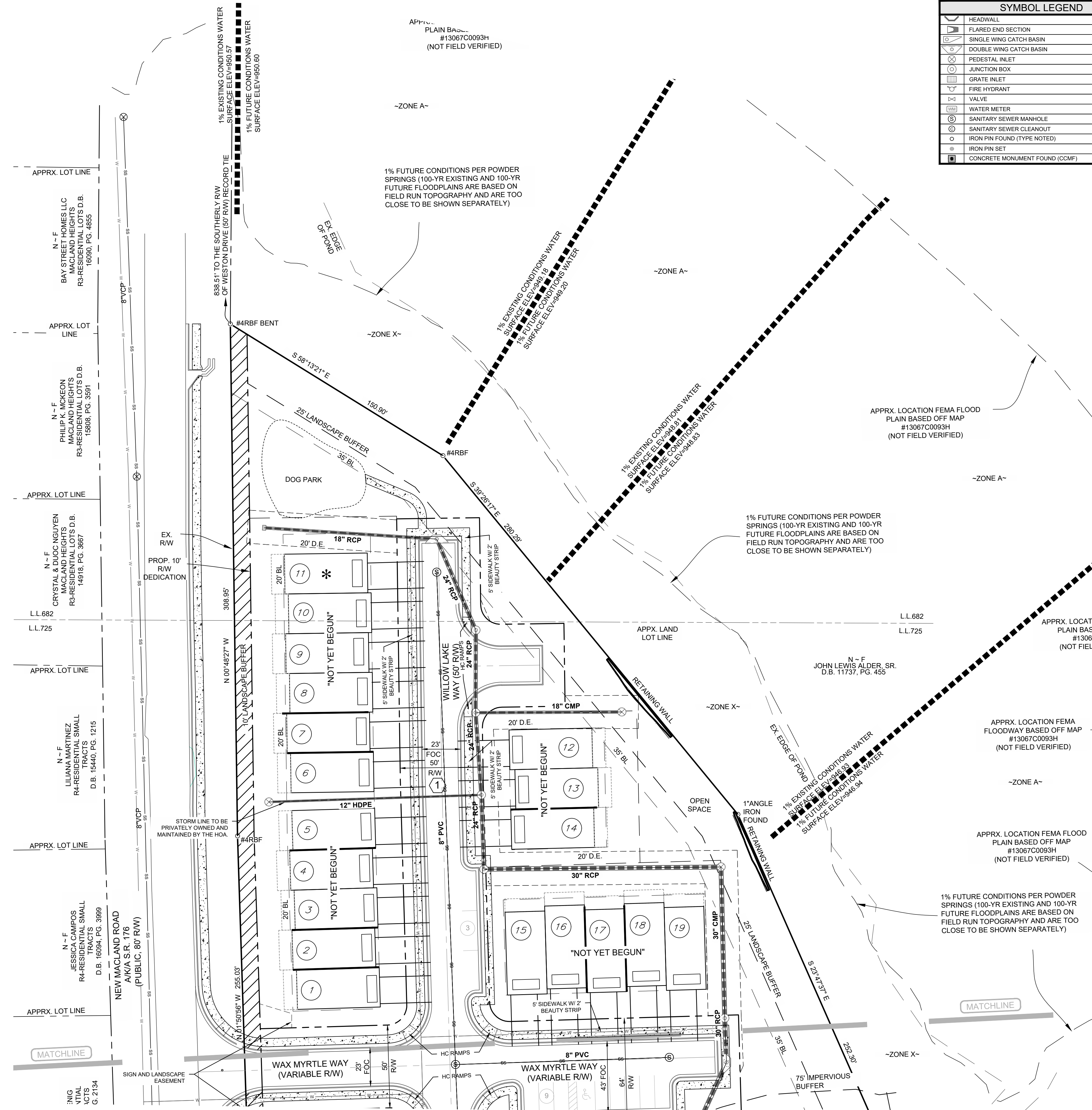
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PROJECT CONTACTS table with columns: OWNER/DEVELOPER, PROJECT ENGINEER, 24 HR CONTACT, CONTRACTOR. Lists contact information for GCSA MacLand LLC, Duane Hagerman, Jonathan Pressley, and Matt Stanford.

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Drawing name: P:\Evergreen DRES\New_MacLand Rd Sub\SURVEYING\GPN\New_MacLand rd final & sub.dwg FN14 May 17, 2024, 1:22pm by: Sally Jordan



REV. #	DATE	CHECKED BY	DRAWN BY

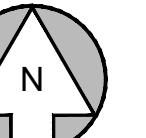
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CLIENT:
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GRID NORTH, GEORGIA WEST ZONE

SCALE: 1" = 30'

SURVEY INFO:

DRAWN BY:	TJB
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FIELD DATE:	2/28/24
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STORM SEWER PLAN

STORM SEWER LEGEND	
	DOUBLE WING CATCH BASIN
	SINGLE WING CATCH BASIN
	FLARED END SECTION
	GRATE INLET
	HEADWALL
	HOOD AND GRATE INLET
	JUNCTION BOX
	OUTLET CONTROL STRUCTURE
	PEDESTAL INLET

STORM SEWER LINE LEGEND	
	STORM SEWER

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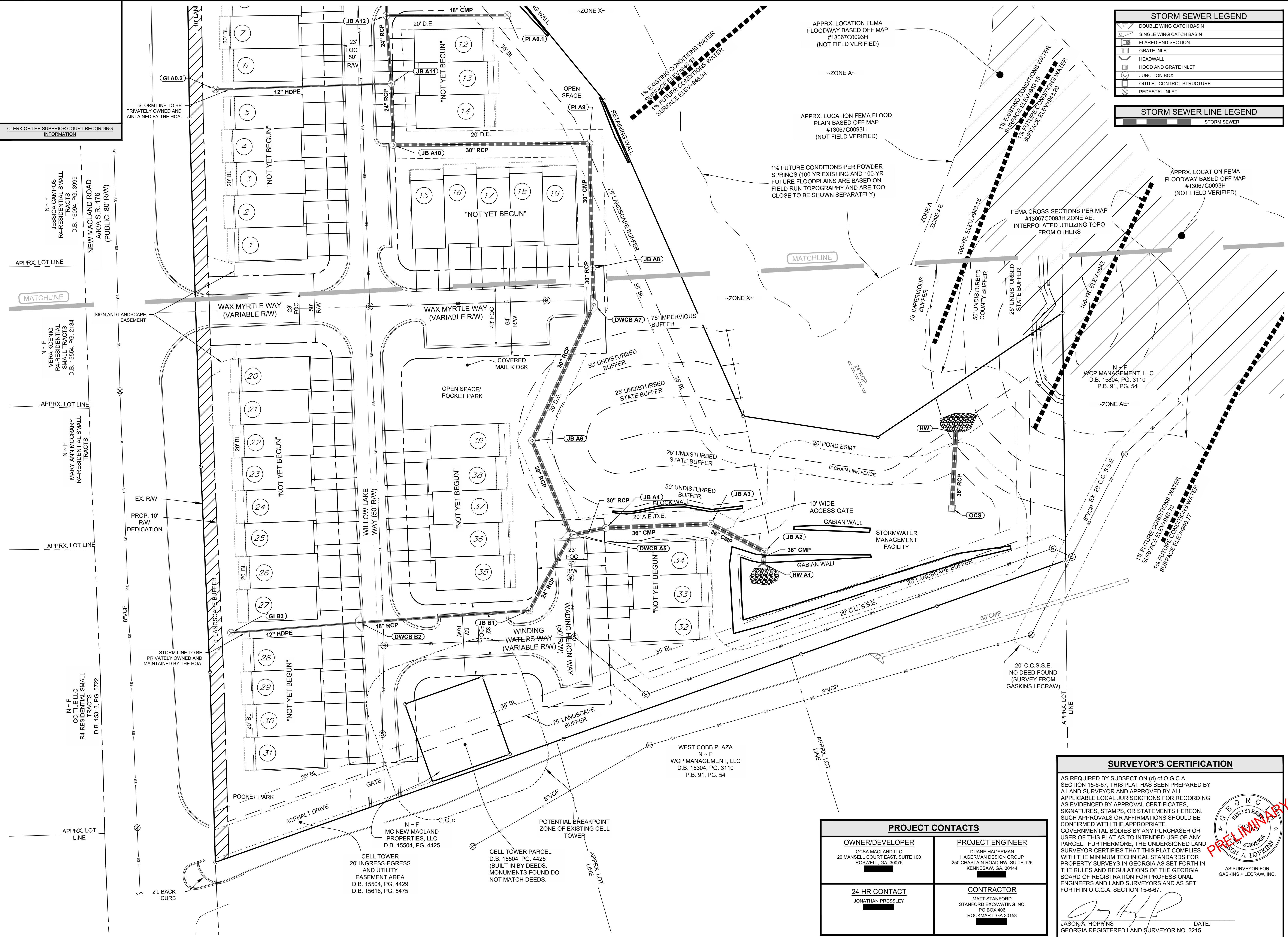
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PRELIMINARY

AS SURVEYOR FOR GASKINS + LECRAW, INC.

JASON A. HOPKINS
GEORGIA REGISTERED LAND SURVEYOR NO. 3215
DATE: [REDACTED]



CLERK OF THE SUPERIOR COURT RECORDING INFORMATION

N-F JESSICA CAMPOS
R4-RESIDENTIAL SMALL TRACTS
D.B. 16094, PG. 3899

NEW MACLAND ROAD
AKIA S.R. 176
(PUBLIC, 80' R/W)

N-F VERA KENIG
R4-RESIDENTIAL SMALL TRACTS
D.B. 15554, PG. 2134

APPRX. LOT LINE

N-F MARY ANN MCCRARY
R4-RESIDENTIAL SMALL TRACTS

APPRX. LOT LINE

N-F COTILE LLC
R4-RESIDENTIAL SMALL TRACTS
D.B. 15313, PG. 5722

APPRX. LOT LINE

N-F MC NEW MACLAND PROPERTIES, LLC
D.B. 15504, PG. 4425

CELL TOWER
20' INGRESS-EGRESS AND UTILITY EASEMENT AREA
D.B. 15504, PG. 4429
D.B. 15616, PG. 5475

CELL TOWER PARCEL
D.B. 15504, PG. 4425
(BUILT IN BY DEEDS. MONUMENTS FOUND DO NOT MATCH DEEDS.)

CLERK OF THE SUPERIOR COURT RECORDING INFORMATION

PROJECT CONTACTS	
OWNER/DEVELOPER GCSA MACLAND LLC 20 MANSELL COURT EAST, SUITE 100 ROSWELL, GA, 30076	PROJECT ENGINEER DUANE HAGERMAN HAGERMAN DESIGN GROUP 250 CHASTAIN ROAD NW, SUITE 125 KENNESAW, GA, 30144
24 HR CONTACT JONATHAN PRESSLEY	CONTRACTOR MATT STANFORD STANFORD EXCAVATING INC. PO BOX 406 ROCKMART, GA 30153

STORM SEWER LEGEND	
	DOUBLE WING CATCH BASIN
	SINGLE WING CATCH BASIN
	FLARED END SECTION
	GRATE INLET
	HEADWALL
	HOOD AND GRATE INLET
	JUNCTION BOX
	OUTLET CONTROL STRUCTURE
	PEDESTAL INLET

STORM SEWER LINE LEGEND	
	STORM SEWER

PREPARED IN THE OFFICE OF:

© 2024 GASKINS + LECRAW, INC.
1266 POWDER SPRINGS RD SW
MARIETTA, GA 30064
PHONE: [REDACTED]
www.gaskinslecrew.com

LSF001371

REVISIONS:

REV. #	DATE	CHECKED BY	DRAWN BY

CONCORD OAKS
LAND LOTS 682 & 725, 19TH DISTRICT, 2ND SECTION
CITY OF POWDER SPRINGS, COBB COUNTY, GEORGIA
CLIENT:
GCSA MACLAND, LLC
20 MANSELL COURT EAST, SUITE 100
ROSWELL, GA, 30076

CALL BEFORE YOU DIG

Know what's below.
Call before you dig.

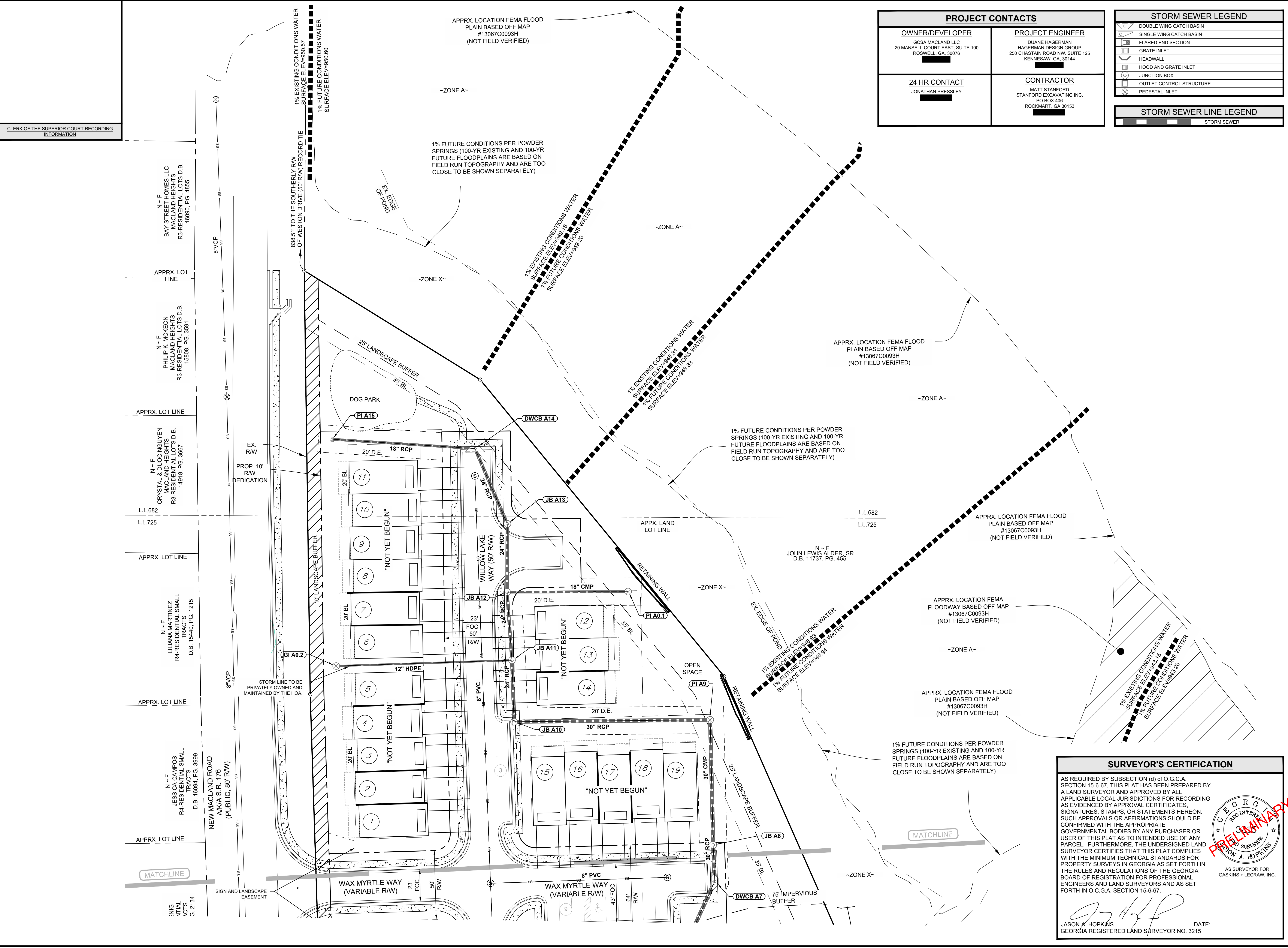
SCALE & NORTH ARROW:

GRID NORTH, GEORGIA WEST ZONE
SCALE: 1" = 30'

SURVEY INFO:

DRAWN BY:	TJB
REVIEWED BY:	JAH
FIELD DATE:	2/28/24
OFFICE DATE:	3/20/24
JOB #:	02309055.A03

STORM SEWER PLAN



SURVEYOR'S CERTIFICATION

AS REQUIRED BY SUBSECTION (d) OF O.G.C.A. SECTION 15-6-67, THIS PLAN HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAN AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAN COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

AS SURVEYOR FOR GASKINS + LECRAW, INC.

JASON K. HOPKINS
DATE: [REDACTED]
GEORGIA REGISTERED LAND SURVEYOR NO. 3215

Drawing name: P:\Engineering\Drawings\New Macland Rd Sub\Survey\GDFN\New Macland rd final & sub.dwg, SD02, May 17, 2024, 1:12pm, by: Sally Jordan

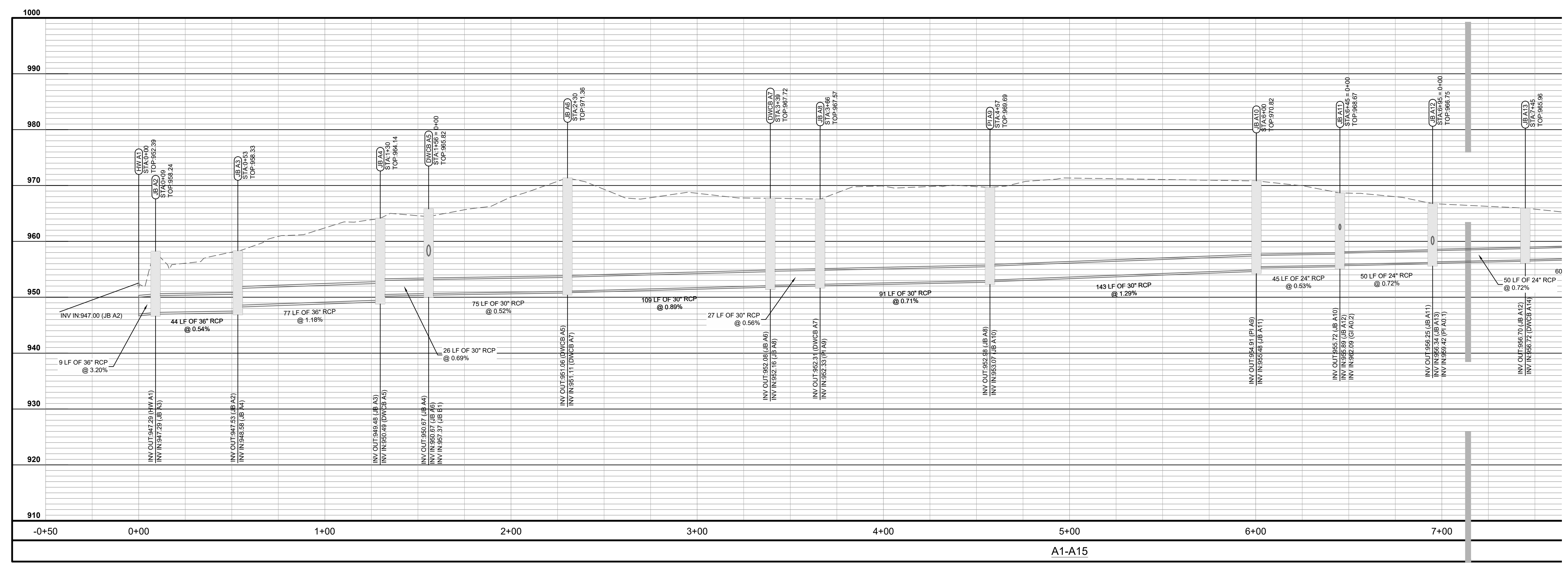


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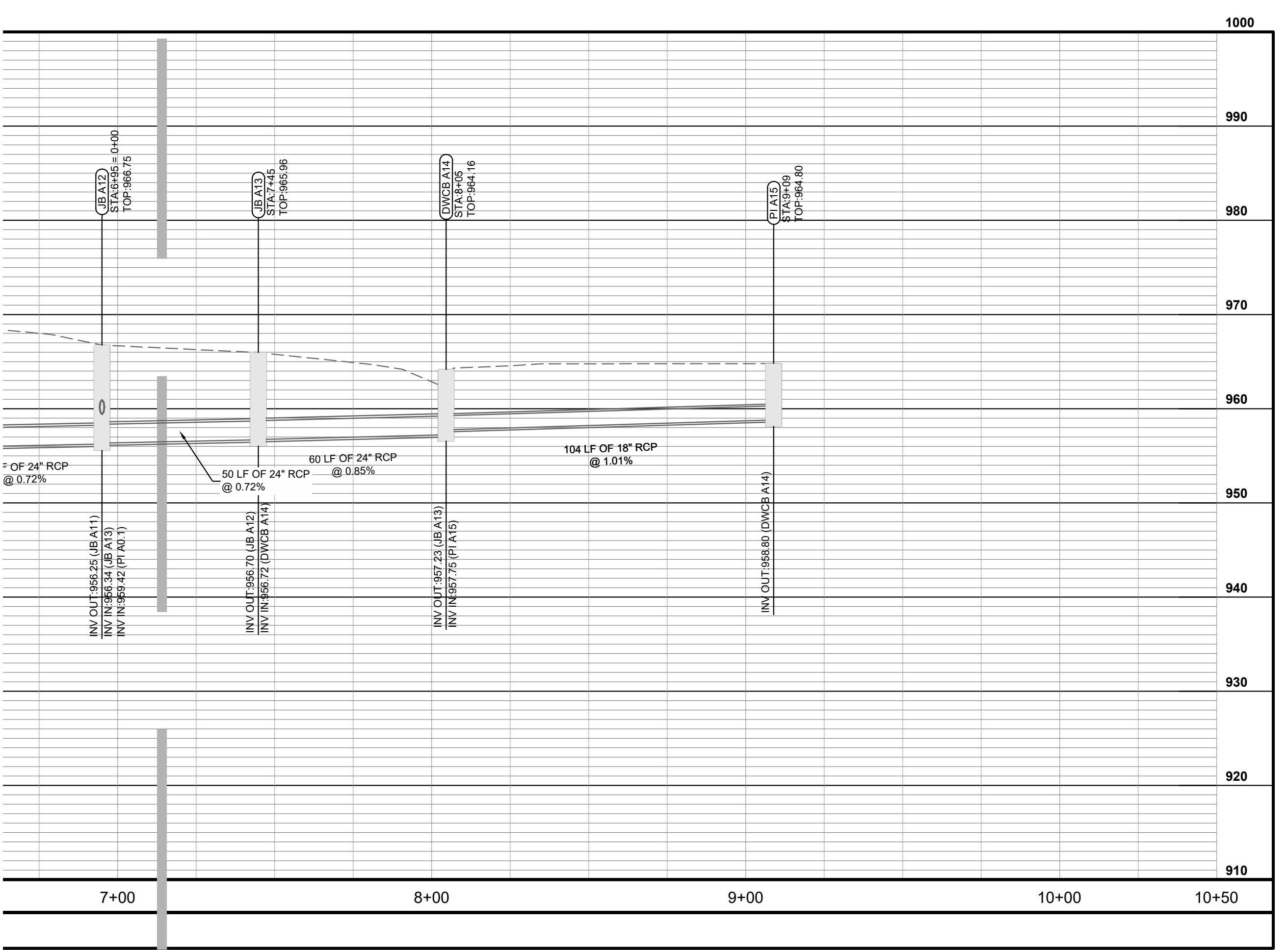
REVISIONS:

NO.	DATE	DRAWN	CHECKED	BY:

CLERK OF THE SUPERIOR COURT RECORDING INFORMATION



A1-A15



PROJECT
CONCORD OAKS
LAND LOTS 682 & 725, 19TH DISTRICT, 2ND SECTION
CITY OF POWDER SPRINGS, COBB COUNTY, GEORGIA

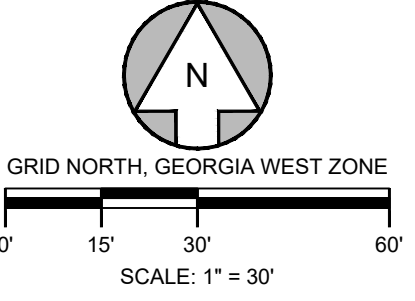
CLIENT
GCSA MACLAND, LLC
20 MANSELL COURT EAST, SUITE 100
ROSWELL, GA. 30076

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Know what's below.
Call before you dig.

SCALE & NORTH ARROW:



SURVEY INFO:

DRAWN BY:	TJB
REVIEWED BY:	JAH
FIELD DATE:	2/28/24
OFFICE DATE:	3/20/24
JOB #:	02309055.A03
STORM SEWER PROFILE	

PROFILE SCALES: HORT. - 1"=30', VERT. - 1"=10'

SURVEYOR'S CERTIFICATION

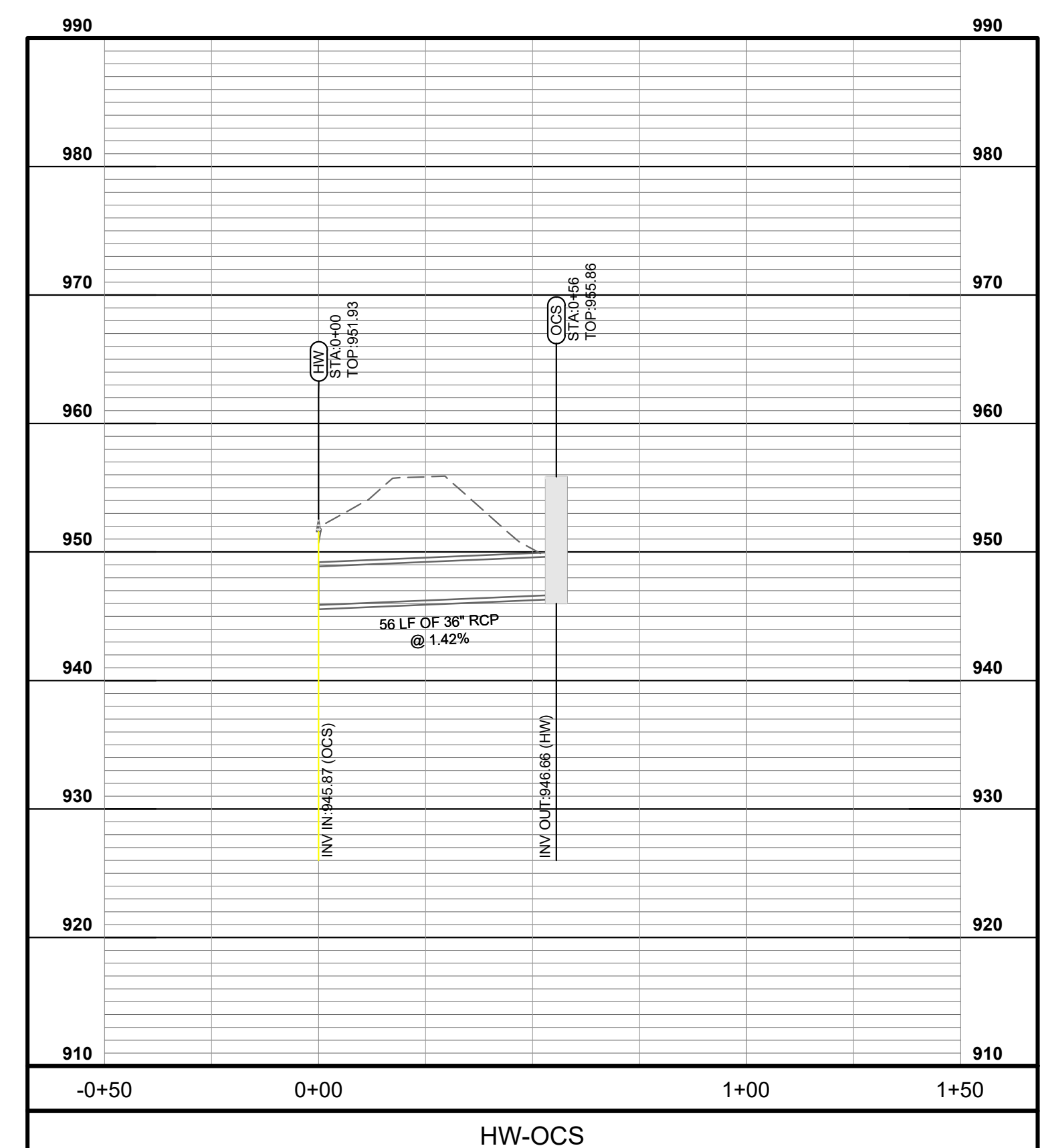
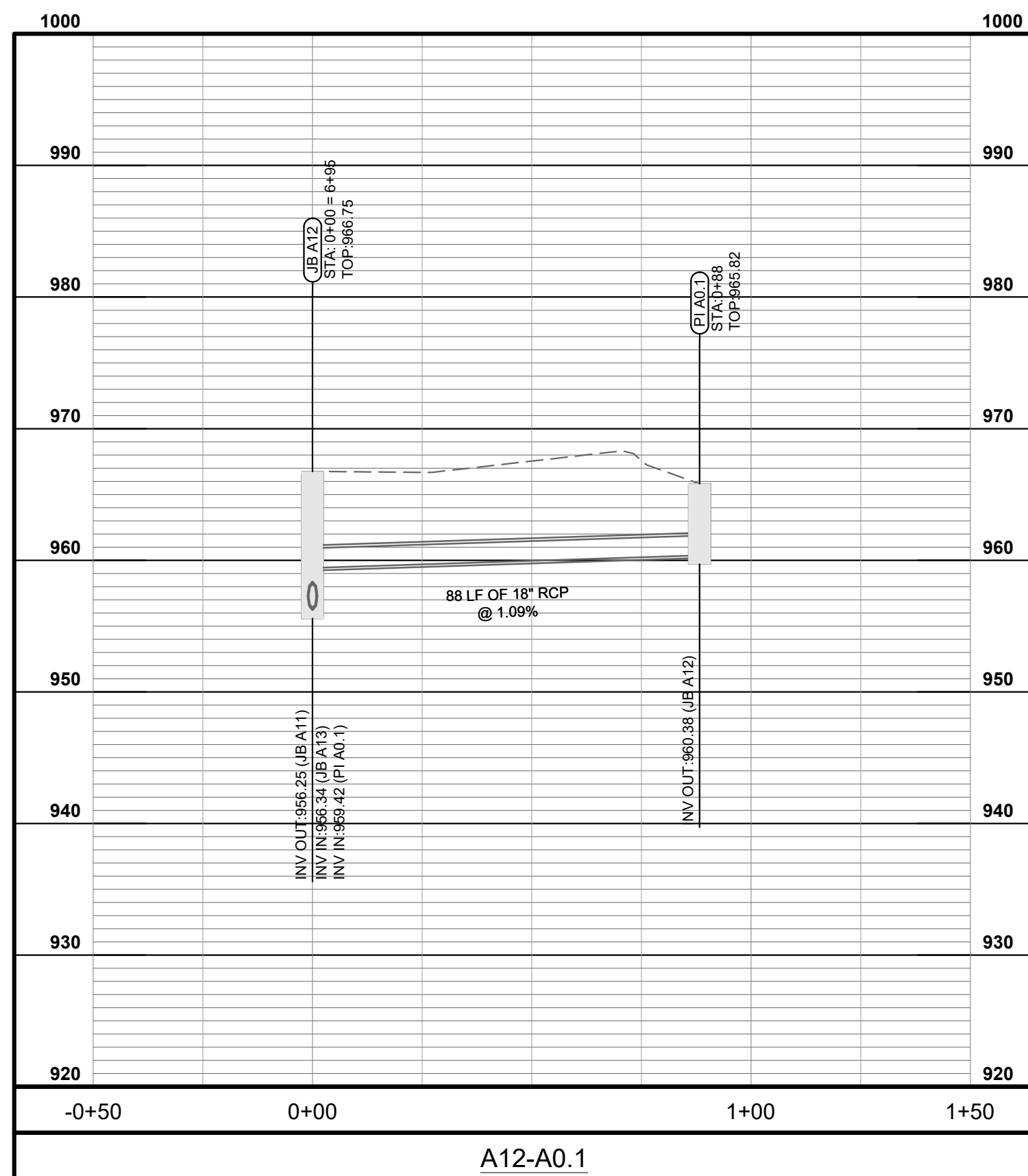
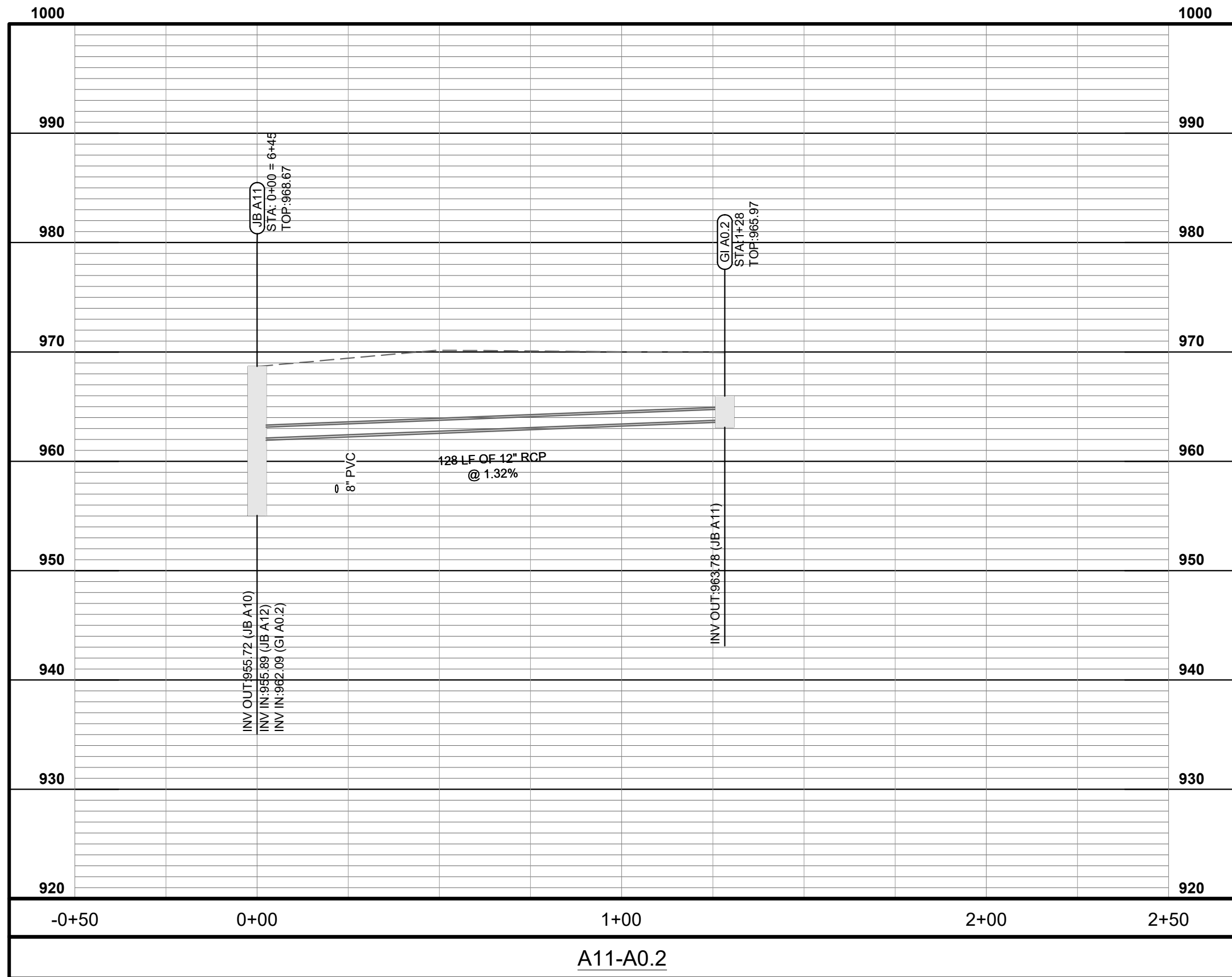
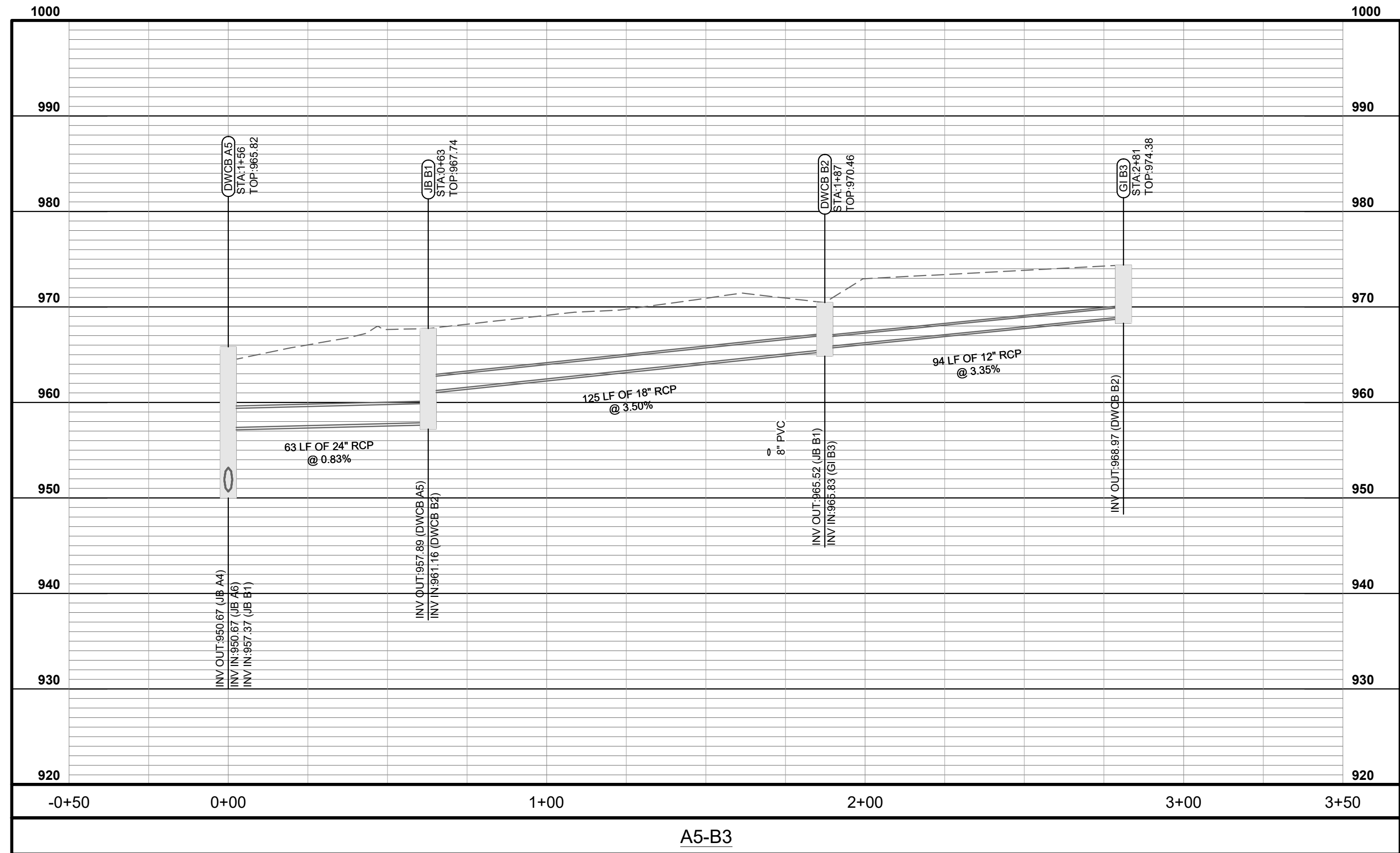
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AS SURVEYOR FOR
GASKINS + LECRAW, INC.

[Signature]

SURVEYOR NAME: _____ DATE: _____
GEORGIA REGISTERED LAND SURVEYOR NO. ####

CLERK OF THE SUPERIOR COURT RECORDING INFORMATION



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AS SURVEYOR FOR GASKINS + LECRAW, INC.

[Signature] DATE: _____

SURVEYOR NAME: _____
 GEORGIA REGISTERED LAND SURVEYOR NO. #####

PROFILE SCALES: HORT. - 1"=30', VERT. - 1"=10'

PREPARED IN THE OFFICE OF:

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 1266 POWDER SPRINGS RD SW
 MARIETTA, GA 30064
 PHONE: [REDACTED]
 www.gaskinslecrew.com

LSF001371

REVISIONS:

REV. #	DATE	CHECKED BY	DRAWN BY

PROJECT: **CONCORD OAKS**
 LAND LOTS 682 & 725, 19TH DISTRICT, 2ND SECTION
 CITY OF POWDER SPRINGS, COBB COUNTY, GEORGIA

CLIENT: **GCSA MACLAND, LLC**
 20 MANSELL COURT EAST, SUITE 100
 ROSWELL, GA. 30076

CALL BEFORE YOU DIG

Know what's below.
 Call before you dig.

SCALE & NORTH ARROW:

GRID NORTH, GEORGIA WEST ZONE
 SCALE: 1" = 30'

SURVEY INFO:

DRAWN BY: TJH
 REVIEWED BY: JAH
 FIELD DATE: 2/28/24
 OFFICE DATE: 3/20/24
 JOB #: 02309055.A03

STORM SEWER PROFILE

4 OF 5

Drawing name: P:\Evergreen DRES\New Macland Rd Subd\SURVEY\GFCN\New macland pipe profiles.dwg SD04 May 17, 2024 11:39m by: Sally Jordan



GASKINS + LECRAW

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3475 CORPORATE WAY
SUITE A
DULUTH, GA 30096
PHONE: [REDACTED]
www.gaskinslecrow.com
LSF001371

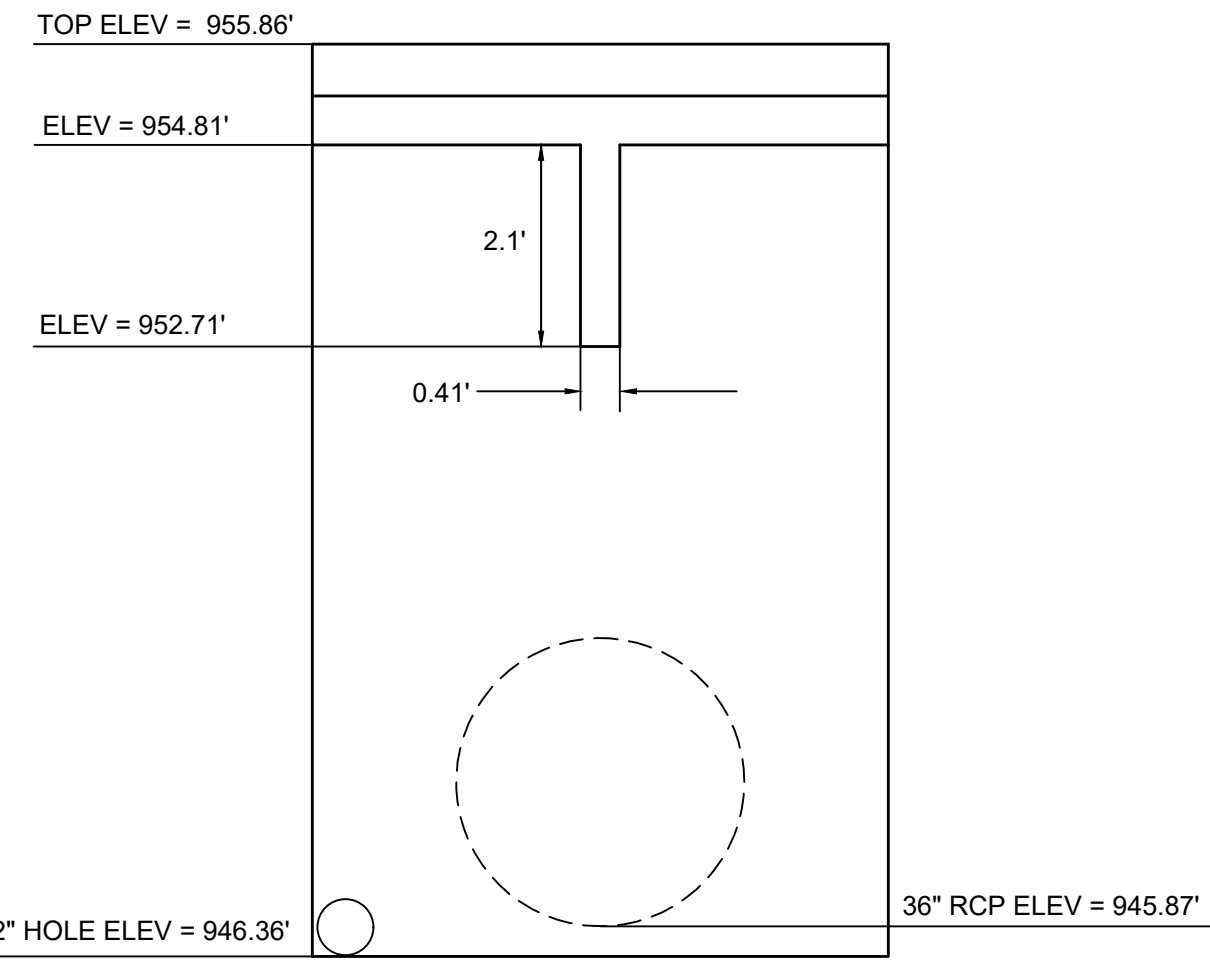
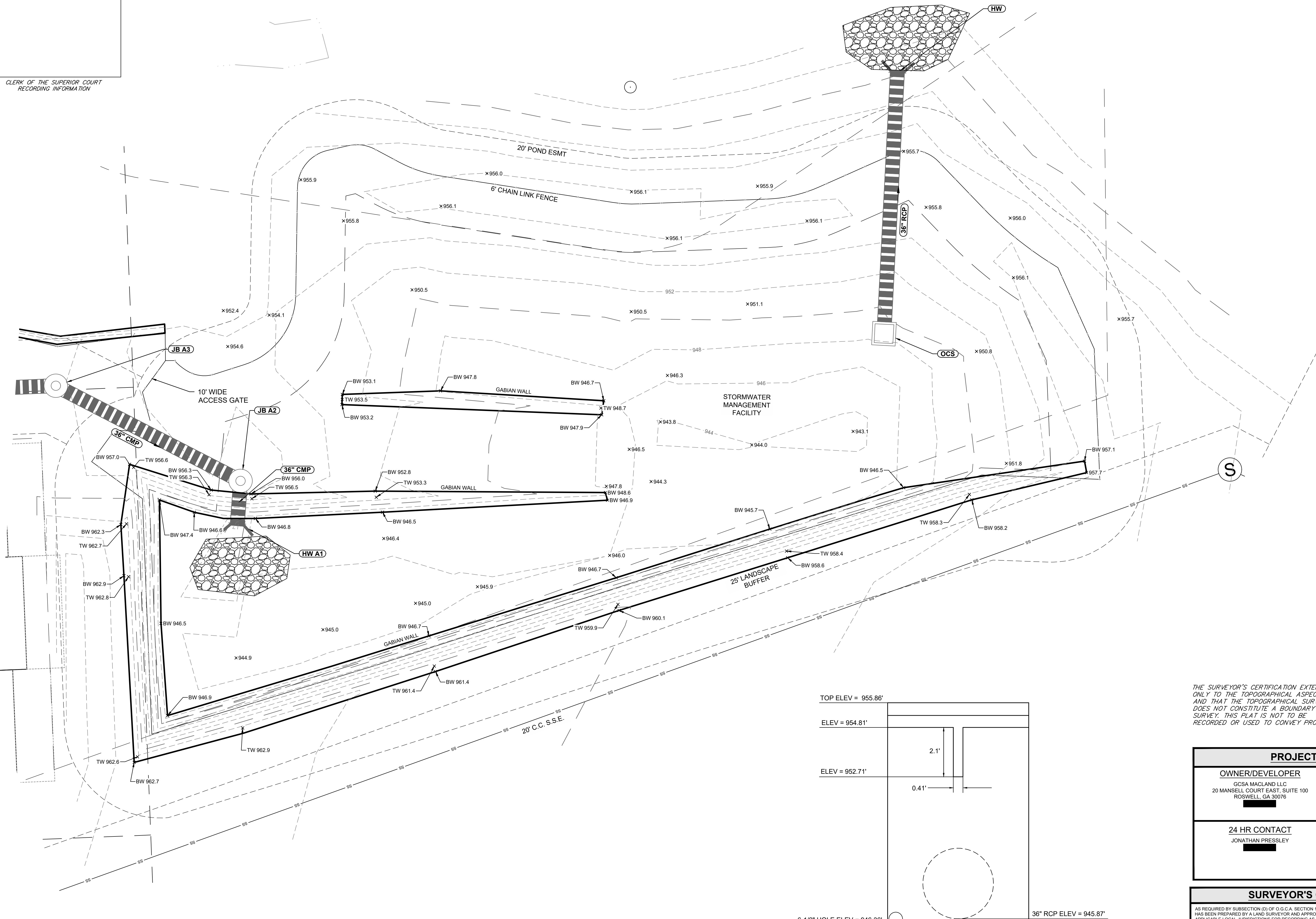
REVISIONS:

REV. #	DATE	DRAWN	CHECKED	BY:

PROJECT
CONCORD OAKS
LAND LOTS 685 & 725, 19th DISTRICT, 2nd SECTION
CITY OF POWDER SPRINGS, COBB COUNTY, GEORGIA

DETECTION POND AS-BUILT SURVEY FOR:
GCSA MACLAND LLC
20 MANSELL COURT EAST, SUITE 100, ROSWELL, GEORGIA 30076

CLERK OF THE SUPERIOR COURT
RECORDING INFORMATION



OUTLET CONTROL STRUCTURE - NTS

THE SURVEYOR'S CERTIFICATION EXTENDS ONLY TO THE TOPOGRAPHICAL ASPECTS AND THAT THE TOPOGRAPHICAL SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY. THIS PLAT IS NOT TO BE RECORDED OR USED TO CONVEY PROPERTY.

PROJECT CONTACTS	
OWNER/DEVELOPER GCSA MACLAND LLC 20 MANSELL COURT EAST, SUITE 100 ROSWELL, GA 30076	PROJECT ENGINEER DUANE HAGERMAN HAGERMAN DESIGN GROUP 250 CHASTAIN ROAD NW, SUITE 125 KENNESAW, GA 30144
24 HR CONTACT JONATHAN PRESSLEY	CONTRACTOR MATT STANFORD STANFORD EXCAVATING INC. PO BOX 406 ROCKMART, GA 30153

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JASON A. HOPKINS
GEORGIA REGISTERED LAND SURVEYOR NO. 3215
DATE: [REDACTED]

AS SURVEYOR FOR
GASKINS + LECRAW, INC.

CALL BEFORE YOU DIG

SCALE & NORTH ARROW:

SURVEY INFO:

DRAWN BY:	SJJ
REVIEWED BY:	JAH
FIELD DATE:	4-24-24
OFFICE DATE:	5-08-24
JOB #:	02309055 A03

POND ASBUILT

Drawing name: P:\Evening\DRES-New_Macland_Rd_Subd\SURVEY\GNFNLnew_macland_pipe_profiles.dwg_pond.asb May 14, 2024 11:41 am by: Sally_Jordan