- SITE PLAN APPROVAL DOES NOT INCLUDE TANKS. TANKS SHALL BE PERMITTED SEPARATELY AT CCFMO. INSPECTIONS ARE REQUIRED TO BE SCHEDULED ONLINE AT WWW.COBBFMO.ORG
- NO GATE SHALL BE INSTALLED WITHOUT FIRE MARSHAL APPROVAL ANY STAIRS OR MEANS OF EGRESS COMPONENT SHOWN ON THESE PLANS IS OUTSIDE OF THE LAND DISTURBANCE PERMIT REVIEW PROCESS. ALL STAIRS AND OTHER MEANS OF EGRESS COMPONENT MUST BE SUBMITTED FOR REVIEW AND APPROVAL BY FIRE MARSHAL'S OFFICE PRIOR TO CONSTRUCTION
- ALL COBB COUNTY FIRE MARSHAL INSPECTION ARE REQUIRED TO BE SCHEDULED ONLINE AT
- WWW.COBBFMO.ORG ALL FIRE LINES SHALL BE DUCTILE IRON CONFORMING TO ANSI A21.51 OR AWWA C151 (CCDS 503.01.02) THIS SITE MEETS GUEST PARKING REQUIREMENTS. EACH DWELLING UNIT WILL HAVE A TWO CAR GARAGE WITH A DRIVEWAY OF 22 FEET LONG AND 20 FEET WIDE. ADDITIONAL GUEST PARKING IS PROVIDED AT THE RATE OF 0.5 SPACES PER DWELLING UNIT.

FIRE DEMO / CONSTRUCTION NOTES: CLERK OF THE SUPERIOR COURT

RECORDING INFORMATION

SINGLE WING CATCH BASIN

SANITARY SEWER MANHOLE

IRON PIN FOUND (TYPE NOTED)

CONCRETE MONUMENT FOUND (CCMF)

ABBREVATION LEGEND

LINE LEGEND

THE UNDERGROUND UTILITIES (EXCEPT THE LOCATION OF EXISTING

THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND

OBSERVED OR LOCATED UTILIZING THIS TECHNIQUE MAY EXIST ON

UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER

INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE

INFORMATION REGARDING MATERIAL AND SIZE OF UTILITIES IS BASED

RADIO FREQUENCY TECHNIQUE. THIS TECHNIQUE IS CAPABLE OF

NON-METALLIC UTILITIES (WITHOUT TRACER WIRE) WILL NOT BE

IN-SERVICE OR ABANDONED. UNDERGROUND UTILITIES NOT

THIS SITE BUT NOT BE SHOWN, AND MAY BE FOUND UPON

THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE

ON RECORDS ACQUIRED FROM THE UTILITY OWNERS

UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION

LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION

LOCATING METALLIC UTILITIES AND TRACER WIRES. ANY

DRAINAGE, SEWER AND IRRIGATION UTILITIES) ARE LOCATED UTILIZING

STORM SEWER

WATER MAIN

SANITARY SEWER

© | SANITARY SEWER CLEANOUT

SSE | SANITARY SEWER EASEMENT

DE DRAINAGE EASEMENT

CTPF | CRIMP TOP PIPE FOUND OTPF OPEN TOP PIPE FOUND

BSL BUILDING SETBACK LINE

AE ACCESS EASEMENT

RBF REBAR FOUND

EXCAVATION

HEADWALL

FLARED END SECTION

PEDESTAL INLET

JUNCTION BOX GRATE INLET

WATER METER

🏏 | FIRE HYDRANT

IRON PIN SET

∨ALVE

SYMBOL LEGEND

- MAINTAIN ACCESS FOR FIRE APPARATUS TO ALL BUILDINGS UNDER CONSTRUCTION INCLUDING TIMES OF RAIN OR MUD. ROADS SHALL BE MAINTAINED AND MINIMALLY PROVIDED WITH CRUSHED STONE BASE AT 20' WIDE
- THE OWNER AND DEVELOPER SHALL DESIGNATE A FIRE PREVENTION PROGRAM SUPERINTENDENT IN ACCORDANCE WITH IFC 3308 AND NFPA 241. THE OWNER/DEVELOPER SHALL NOTIFY THE FMO PRIOR TO THE START OF CONSTRUCTION WITH THE NAME AND CONTACT INFORMATION FOR THE SUPERINTENDENT. THE SUPERINTENDENT SHALL BE FAMILIAR WITH THE IFC 3308 AND NFPA 241 AS ADOPTED BY THE STATE OF GEORGIA. FIRE PREVENTION CONTACT IS RAFAEL LEYVA (404) 427-6258.

GENERAL SURVEY NOTES

BUILDER ON EACH LOT SHALL PROVIDE EROSION AND SEDIMENT CONTROL MEASURES TO PREVENT SEDIMENT FROM ENTERING ANY ADJACENT LOT OR PUBLIC ROADWAY. STATE LAW PROHIBITS THE PRIVATE CONSTRUCTION, PLANTING, OR OTHERWISE MAKING

IMPROVEMENTS ON THE DEDICATED RIGHT OF WAY. THE SOLE RESPONSIBILITY FOR REPAIRING OF

- ANY DAMAGE OF ANY SUCH IMPROVEMENT SHALL BE THE PROPERTY OWNERS. THE OPEN CHANNEL DRAINAGE EASEMENTS (D.E.) SHOWN ARE NOT TO BE CONSTRUED AS EXACTING IN LOCATION. THESE EASEMENTS ARE INTENDED TO PROVIDE AN AREA FOR THE FREE CONVEYANCE OF STORMWATER RUNOFF BETWEEN DRAINAGE STRUCTURES ON THE PROPERTY OR BETWEEN DRAINAGE STRUCTURES AND THE EXTERIOR PROPERTY LINE. THE LOCATIONS SHOWN ARE INTENDED
- LOCATIONS BUT ARE CONTINGENT UPON FINAL GRADING AND LANDSCAPING OF THE INDIVIDUAL LOTS THERE ARE NO KNOWN ENCROACHMENTS IN STORMWATER EASEMENTS. HOA TO MAINTAIN LANDSCAPING IN THE RIGHT OF WAY. ALL COMMON AREAS, OPEN SPACE.
- AMENITIES, SIGN, FENCE AND LANDSCAPE MAINTENANCE EASEMENTS SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. GUEST PARKING IS THE RESPONSIBILITY OF THE HOA.
- HVAC UNITS MUST BE LOCATED TO MEET BUILDING SETBACKS AND NOT BE LOCATED IN FRONT YARDS. ALL RIGHT-OF-WAY WILL BE DEEDED TO THE CITY AFTER MAINTENANCE PERIOD AND PRIOR TO
- THIS WILL NOT BE A GATED SUBDIVISION. INDIVIDUAL FENCES ARE NOT PERMITTED IN FRONT YARDS OR IN TOWNHOUSE DEVELOPMENT. HOA MAY SUBMIT OVERALL FENCING PLAN FOR CONSIDERATION. MAINTENANCE OF CMP STORM DRAIN INSTALLED PARTIALLY IN THE RIGHT-OF-WAY IS 100% THE
- RESPONSIBILITY OF THE HOA ALL SIDE AND REAR PROPERTY LINES SHALL HAVE A 5' DRAINAGE ON EACH SIDE OF THE PROPERTY

COBB COUNTY WATER SYSTEM NOTES:

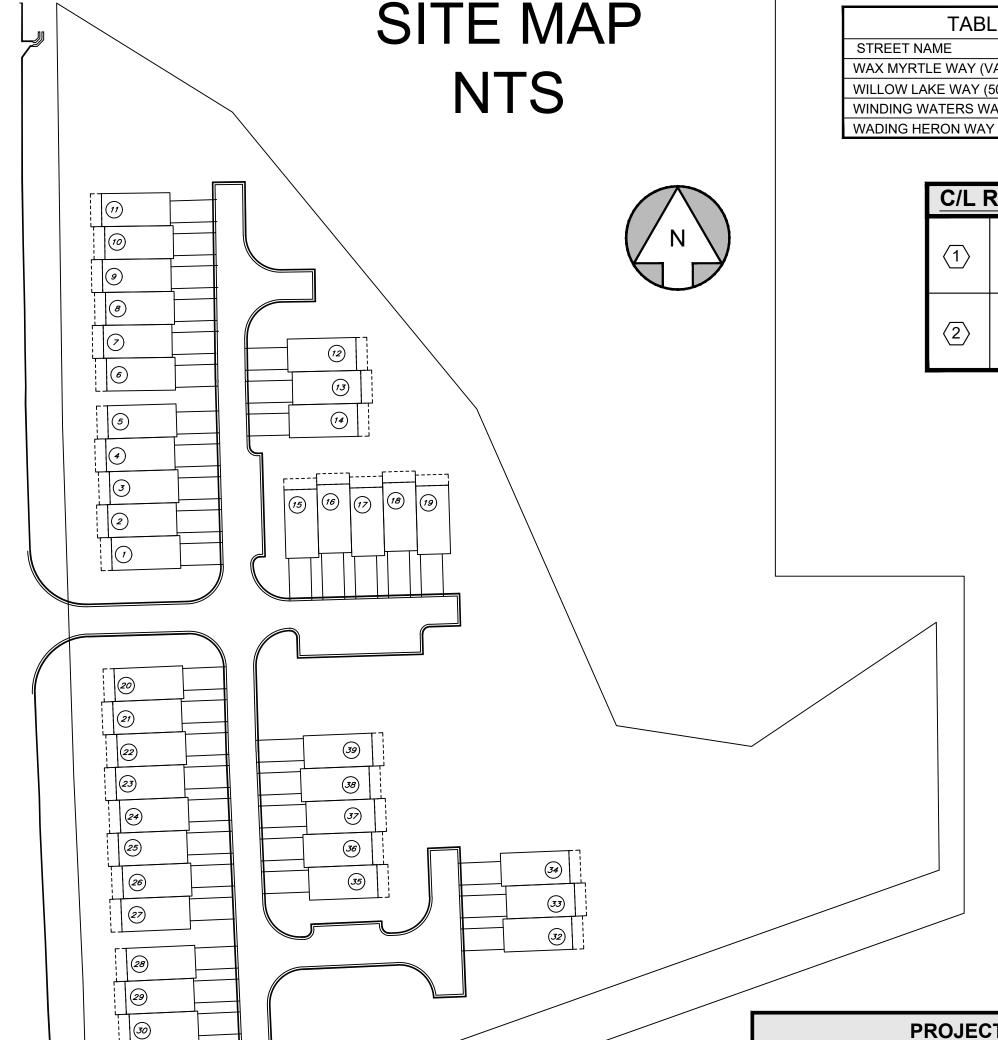
- NO PERMANENT STRUCTURES SHALL BE CONSTRUCTED WITHIN TEN (10') FEET OF THE EDGE OF A PERMANENT COBB COUNTY WATER OR SANITARY EASEMENT ON FRONT OR REAR SETBACKS, OR WITHIN TWO (2') FEET ON SIDE SETBACKS, PER COUNTY CODE 122-123.
- WATER METERS SHALL NOT BE INSTALLED BEHIND ENCLOSED FENCES, IN PAVED DRIVEWAYS OR IN PAVED PARKING AREAS PER COUNTY CODE SEC. 122-125. WATER AND SEWER UTILITIES WITHIN THE CITY OF POWDER SPRINGS RIGHT OF WAY WILL BE DEDICATED TO COBB COUNTY AFTER THE ONE YEAR MAINTENANCE WARRANTY INSPECTION AND APPROVAL BY CCWS.

ZONING NOTES:

PER SEC. 5-64 OF THE UDC, FLOOR PLANS AND BUILDING ELEVATIONS SHALL NOT BE REPEATED AT A RATE GREATER THAN THE SAME PLAN AND ELEVATION ONCE EVERY FIVE BUILDING LOTS ALONG THE SAME STREET FRONTAGE, NOR ANY FOUR BUILDING LOTS ACROSS THE STREET, THE UNITS SHOULD BE FURTHER DIFFERENTIATED BY VARYING THE SELECTION OF ARCHITECTURAL MATERIALS WITHIN THE APPROVED ELEVATIONS. ANY RESIDENTIAL SUBDIVISION, TOWNHOME OR CONDOMINIUM DEVELOPMENT AND MULTI-FAMILY COMPLEX SHALL BE REQUIRED TO SUBMIT A COPY OF THE APPROVED PLAT OR SITE PLAN DENOTING OR IDENTIFYING MODEL NAMES ARTICLE 5, SITE AND ARCHITECTURAL DESIGN REVIEW, POWDER SPRINGS UNIFIED DEVELOPMENT CODE 181 OR THAT DEMONSTRATES COMPLIANCE WITH THIS SECTION. THE DESIGNER RESPONSIBLE FOR PREPARING THIS EXHIBIT DEMONSTRATING COMPLIANCE SHALL ALSO CERTIFY THAT THE MODEL NAMES OR ARCHITECTURAL ELEVATIONS REFERENCED MEET THE REQUIREMENTS OF SECTIONS 5-53 5-57, 5-62 AND 5-63 OF THE UDC. ALL LOTS WILL BE FRONT LOADED. NO LOTS SHALL BE REAR LOADED AS REQUIRED BY THE ZONING

STIPUI ATIONS A VARIANCE WAS GRANTED FOR THIS SITE TO ALLOW TOWNHOMES TO BE CONSTRUCTED IN A STAGGERED PATTERN.

the National Flood Insurance Program at 1-800-638-6620.



LOCATION OF UTILITIES EXISTING ON OR SERVING THE SUBJECT PROPERTY IS DETERMINED BY OBSERVABLE EVIDENCE ONLY. THIS PROPERTY MAY BE SUBJECT TO EASEMENTS, CLAIMS, PRESCRIPTION AND SUBSURFACE CONDITIONS THAT ARE NOT VISIBLE OR RECORDED, THUS DEEMING THEM UNDETERMINED AND NOT SHOWN. THIS PLAT IS INTENDED FOR THE PARTIES STATED ON THE FACE OF SURVEY. USE OF THE SURVEY BY THIRD PARTIES IS AT THEIR OWN RISK

WETLANDS NOTE

WETLANDS SHOWN WITHIN THE BOUNDARY OF THIS SITE (SHADED AREAS) ARE PROTECTED BY FEDERAL LAW AND ARE UNDER THE JURISDICTION OF THE UNITED STATES CORPS OF ENGINEERS. DISTURBANCE OF THESE WETLAND AREAS MUST BE APPROVED PRIOR TO ANY

FLOOD PLAIN NOTE

TO F.E.M.A. (F.I.A) COMMUNITY NUMBER #130052, MAP NUMBER #13067C0093H DATED 3/4/2013

GPS NOTES

2.) THE NORTHING, EASTING, AND ELEVATION OF THE STARTING POINTS FOR THIS SURVEY WERE OBTAINED UTILIZING A TRIMBLE 5800 GPS RECEIVER WITH A TRIMBLE TSC2 DATA COLLECTOR RECEIVING RTK CORRECTIONS VIA A CELL PHONE FROM THE EGPS SOLUTIONS REAL TIME NETWORK. THE TECHNIQUE USED WAS RTK CORRECTED MEASUREMENTS FROM THE TRIMBLE VRS REAL TIME NETWORK OPERATED BY EGPS SOLUTIONS, INC. THE RELATIVE POSITIONAL ACCURACY OBTAINED ON THE POINTS UTILIZED IN THIS SURVEY WERE 0.04 FT. HORIZONTAL AND 0.07 FT. VERTICAL AT THE 95% CONFIDENCE LEVEL.

REGULAR CLOSED TRAVERSE NOTE

HIS PLAT IS PREPARED FROM A FIELD SURVEY USING A FIVE SECOND DIGITAL THEODOLITE AND ELECTRONIC DISTANCE METER; LINEAR PRECISION OF TRAVERSE: 1/18613 ANGULAR ERROR: 4" PER POINT. THE TRAVERSE WAS ADJUSTED USING THE COMPASS **DEVELOPMENT SUMMARY**

FRONT:

REAR:

SIDE:

JURISDICTION: CITY OF POWDER SPRINGS COBB COUNTY, GA 39 UNITS OPEN SPACE: 2.24 ACRES SITE AREA:

PROPÓSED USE: TOWNHOME

(39 ATTACHED TOWNHOME UNITS)

OWNER:

22-029)

6.22 ACRES DENSITY: 6.27 UNITS / ACRE ZONING: PUD-R (CASE NO. PZ 21-045 & F

GCSA MACLAND. LLC

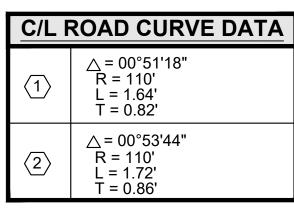
MAX. BLDG. HEIGHT = 35' PARKING CALCULATIONS: 2 SPACES/UNITS (39) = 78 SPACES PROVIDED PARKING = 14 SPACES DRIVEWAY LENGTH - 22' (FROM B.O.C. / SW

TO BUILDING)

35' (20' ALONG NEW MACLAND

10' BETWEEN STRUCTURES

TABLE OF DEDICATION		
STREET NAME	LENGTH IN L.F.	
WAX MYRTLE WAY (VARIABLE RW)	312'	
WILLOW LAKE WAY (50' RW)	674'	
WINDING WATERS WAY (VARIABLE RW)	143'	
WADING HERON WAY (50' RW)	106'	



LOT NO.	AILA (SQ.11.)
1	3454
2	3500
3	3500
4	3500
5	3500
6	3500
7	3500
8	3500
9	3500
10	3500
11	3500
12	3500
30	3543
31	3544
32	3544
55	3862
56	3497
57	3995
58	3995
59	3995
60	3995
61	3995
62	3995
63	3995
64	3945

LOT NO. AREA (SQ. FT.)

PROJECT CONTACTS OWNER/DEVELOPER PROJECT ENGINEER GCSA MACLAND LLC DUANE HAGERMAN HAGERMAN DESIGN GROUP 20 MANSELL COURT EAST, SUITE 100 250 CHASTAIN ROAD NW. SUITE 125 ROSWELL, GA, 30076 KENNESAW, GA, 30144 CONTRACTOR 24 HR CONTACT MATT STANFORD STANFORD EXCAVATING INC. PO BOX 406 ROCKMART, GA 30153

BENCHMARK NOTE

BENCHMARK: TOP OF FIRE HYDRANT ELEVATION: LOCATED

COVENANT STATEMENT

THIS PLAT IS SUBJECT TO DECLARATION OF COVENANTS CONDITIONS AND RESTRICTIONS AS RECORDED IN DEED ___, PAGE _____, RECORDED __-___, COBB COUNTY DEED RECORDS.

PLAT PURPOSE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO SHOW THE UTILITIES FOR SINGLE FAMILY TOWNHOMES AND SHOW THE LOCATION SAID TOWNHOMES ON THE OVERALL

THE OWNER HEREBY DESIGNATES RAFAEL LEYVA AS THE FIRE PREVENTION PROGRAM SUPERINTENDENT. THE ABOVE-NAMED PERSON SHALL BE RESPONSIBLE FOR COMPLIANCE WITH IFC CHAPTER 3300 IN ITS ENTIRETY AND NFPA 241-09. FAILURE TO COMPLY CAN RESULT IN STOP WORK ORDERS AND/OR CITATION.

> NO STREET PARKING HAS BEEN APPROVED FOR THIS DEVELOPMENT



LOCATION MAP NTS

IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY BY ME OR UNDER MY SUPERVISION; THAT ALL MONUMENTS SHOWN HEREON EXIST. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN

SURVEYOR'S CERTIFICATE

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 826, 955 FEET.

18,613 FEET, AND AN ANGULAR ERROR OF 04" PER ANGLE POINT, AND WAS ADJUSTED USING THE

BY: JASON A. HOPKINS, DATE GEORGIA REGISTERED LAND SURVEYOR NO. 3215

OWNER'S CERTIFICATION AND DEDICATION

I HEREBY CERTIFY THAT I AM THE OWNER OF THE LAND SHOWN ON THIS PLAT (OR A DULY

AUTHORIZED AGENT THEREOF) WHOSE NAME IS SUBSCRIBED HERETO. I ACKNOWLEDGE THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY, AND FOR VALUE RECEIVED THE SUFFICIENCY OF WHICH IS HEREBY ACKNOWLEDGED, I DO HEREBY CONVEY TO COBB COUNTY, GEORGIA ALL WATER MAINS. WATER LINES. SANITARY SEWER LINES AND THE LIKE TO FUNCTION AS PART OF THE COBB COUNTY WATER SYSTEM AND FURTHER CONVEY ALL STREETS AND RIGHTS-OF-WAY AND MAJOR STORMWATER EASEMENTS INDICATED AS STORMWATER STRUCTURES TO THE FIRST JUNCTION BOX OR WHERE WATER COMBINES WITH A PRIVATE SYSTEM, SHOWN HEREON IN FEE SIMPLE TO THE CITY OF POWDER SPRINGS AND FURTHER DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES HEREON SHOWN FOR THE PURPOSES AND CONSIDERATIONS HEREIN EXPRESSED. DRAINAGE EASEMENTS AND STORMWATER PONDS ARE DEDICATED TO ALLOW WATER TO FLOW AND ARE TO BE MAINTAINED BY THE OWNER OF THE PROPERTY. IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT AND OTHER VALUABLE CONSIDERATIONS. I FURTHER RELEASE AND HOLD HARMLESS THE CITY OF POWDER SPRINGS AND COBB COUNTY FROM ANY AND ALL CLAIMS, DAMAGES, OR DEMANDS ARISING: ON ACCOUNT OF THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF THE PROPERTY SHOWN HEREON: ON ACCOUNT OF THE ROADS, FILLS. EMBANKMENTS, DITCHES, CROSS DRAINS, CULVERTS, WATER MAINS, SEWER LIENS, AND BRIDGES WITHIN THE PROPOSED RIGHTS-OF-WAY AND EASEMENTS SHOWN: AND ON ACCOUNT OF BACKWATER, THE COLLECTION AND DISCHARGE OF SURFACE WATER, OR THE CHANGING OF COURSES OF STREAMS. AND FURTHER. I WARRANT THAT I OWN FEE SIMPLE TITLE TO THE PROPERTY SHOWN HEREON

AND AGREE THAT THE CITY OF POWDER SPRINGS AND COBB COUNTY SHALL NOT BE LIABLE TO THE CONSTRUCTION OR MAINTENANCE OF CROSS DRAIN EXTENSIONS, DRIVES, STRUCTURES, STREETS, CULVERTS, CURBS, OR SIDEWALKS, THE CHANGING OF COURSES OF STREAMS AND RIVERS, FLOODING FROM NATURAL CREEKS AND RIVERS, SURFACE WATERS, AND ANY OTHER MATTER WHATSOEVER. I FURTHER WARRANT THAT I HAVE THE RIGHT TO SELL AND CONVEY THE LAND ACCORDING TO THIS PLAT AND DO HEREBY BIND OWNERS AND MYSELF SUBSEQUENT IN TITLE TO DEFEND BY VIRTUE OF THESE PRESENTS.

OWNER'S NAME: GCSA MACLAND, LLC

OWNER'S ADDRESS: 20 MANSELL COURT EAST, STE. 100, ROSWELL, GA, 30076

CERTIFICATE OF FINAL PLAT APPROVAL

ALL APPLICABLE REQUIREMENTS OF THE POWDER SPRINGS UNIFIED DEVELOPMENT CODE RELATIVE TO FINAL PLATS HAVING BEEN FULFILLED, APPROVAL OF THIS IS HEREBY GRANTED BY THE POWDER SPRINGS DIRECTOR OF COMMUNITY DEVELOPMENT AND IS ENTITLED TO BE RECORDED.

DIRECTOR OF COMMUNITY DEVELOPMENT DIRECTOR OF PUBLIC WORKS MAYOR, CITY OF POWDER SPRINGS

COBB COUNTY WATER SYSTEM APPROVAL

THIS PLAT, HAVING BEEN SUBMITTED TO THE COBB COUNTY WATER SYSTEM AND HAVING BEEN FOUND TO COMPLY WITH THE COBB COUNTY DEVELOPMENT STANDARDS IS APPROVED FOR

COBB COUNTY WATER SYSTEM

*THIS DOCUMENT WAS PRODUCED ON A 24" X 36" SHEET UTILIZING ELECTRONIC MEDIA AND DIGITALLY SIGNED BY THE SURVEYOR UTILIZING NITRO PRO PDF EDITOR AT THE TIME AND DATE SHOWN AND A COPY OF THE ORIGINAL DOCUMENT IS KEPT IN THE OFFICE OF THE SURVEYOR. ANY MODIFICATIONS MADE THEREAFTER ARE INVALID. ANY DIGITAL COPY OF THIS DOCUMENT THAT DOES NOT CONTAIN A SIGNATURE VALIDATION AT THE SAME TIME AND DATE OR CONTAINS PDF EDITS HAS BEEN MODIFIED. ANY DIGITAL OR PAPER COPIES CAN BE AUTHENTICATED USING THE ORIGINAL SURVEYOR'S DOCUMENT.

SURVEYOR'S CERTIFICATION

STER

AS SURVEYOR FOR

GASKINS + LECRAW, INC.

HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE PPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE JNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH HE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RUI ES AND REGULATIONS OF THE GEORGIA OARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND URVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

GEORGIA REGISTERED LAND SURVEYOR NO. 3215



CALL BEFORE YOU DIG



SCALE & NORTH ARROW

SURVEY INFO:

5-09-24

TELD DATE: OFFICE DATE JOB #: 02309055.A03 FINAL PLAT

| OF 4

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Gaskins + LeCraw, Inc. shall be without liability to Gaskins + LeCraw, Inc. Copyright Gaskins + LeCraw, Inc., 2024

Federal Emergency Management Agency

his is an official FIRMette showing a portion of the above-referenced flood map created from

ike sure the map is current, please see the Flood Hazard Mapping Updates Overview Fact S

ilable on the FEMA Flood Map Service Center home page at https://msc.fema.gov.

he MSC FIRMette Web tool. This map does not reflect changes or amendments which may have

een made subsequent to the date on the title block. For additional information about how to

HEATH (PANEL 0093H **FIRM** FLOOD INSURANCE RATE MAP COBB COUNTY, **GEORGIA** AND INCORPORATED AREAS PANEL 93 OF 252 (SEE MAP INDEX FOR FIRM PANEL LAYOUT) CONTAINS COMMUNITY NUMBER PANEL SUFFIX
 COBB COUNTY
 130052
 0093
 H

 POWDER SPRINGS, CITY OF
 130056
 0093
 H
 Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community. JOINS PANEL 0181 MAP NUMBER City of 13067C0093H **ZONE AE** MAP REVISED MARCH 4, 2013

UTILITY LOCATION NOTE

ACTION.

THIS PARCEL OF LAND IS IN THE 100 YEAR FLOOD PLAIN AND IS IN ZONE PUD-R; ACCORDING

1.) HORIZONTAL DATUM IS NAD 83. VERTICAL DATUM IS NAVD 88.

RULE. LINEAR PRECISION OF THIS PLAT: 1/826955 . MATTERS OF TITLE ARE EXCEPTED.

Memorandum January 18, 2022. Mayor and Council Community Development PZ 21-045: Rezoning Request: From NRC and R-20 to PUD-R, property located at 3189, 3215, and 3149 New Macland Road.

A motion to APPROVE this rezoning request, with the follow stipulations:

CLERK OF THE SUPERIOR COURT RECORDING

INFORMATION

 The within stipulations apply to the applicant and owner herein, their heirs, successors and assigns, regardless of the party to which any particular stipulation may be

2. The applicant shall submit a revised site plan compliant with these stipulations for Administrative Review. Except as otherwise provided herein, Site Plan must be consistent with PUD-R regulations, all other applicable regulations identified in the Unified Development Code, and the City's Comprehensive Plan concept. The revised site plan shall provide for the addition of greenspace recommended by the Comprehensive Plan. The applicant shall agree to work with TSW (Comprehensive Plan Consultant) to revise the site plan and architectural features of the structures and shall pay a fee up to \$2500 for this review. This site may include the use of "dead-end" roads as shown on the concept plan as requested as part of the PUD-R application if this is included in the final recommended

No housing units shall be constructed within the potential break point zone of the adjacent wireless communication tower. The specific distance for the radius of the "breakpoint zone" shall be determined by and reported to staff by a structural engineer or other qualified expert. This provision may be modified based on Design Review with Mayor and Council.

4. The existing cell tower on the site does not meet the zoning stipulations of PZ 17 - 008. If a variance for this cell tower is applied for and denied within 60 days of this approval, a revised site plan may be required subject to Mayor and Council design review. If the owner of the cell tower does not apply for a variance within 60 days of approval of this application, the applicant of this application may proceed as approved. The owner of the existing cell tower may be subject to code enforcement action for failure to comply with zoning stipulations and the creation of a lot not meeting requirements of the CRC zoning district.

5. Each deed to a purchaser or purchasers of any or all residential units constructed on the subject property shall contain the following notice:

> Grantee(s) herein acknowledge and do not object to the presence or operation of the existing telecommunications tower located at 3215 New Macland Road (19072500270).

6. A recreation area shall be provided at a ratio of 1 acre per 50 units (or a proportional percentage thereof) with a minimum of 10,000 square feet provided. Such area shall be developed with at least one recreational feature, such as a walking trail, pavilion, gazebo, picnic area, swimming pool, playground or tennis courts. Recreational areas must be outside of any floodplain area. Any recreation area must be located in an area with a slope of less than 15%; however, all recreation areas or applicable green space must meet ADA requirements for accessibility.

7. All residential units shall have two-car garages, and the parking pads/driveway in front of the garage shall be a minimum of 22 feet in length.

The setback are as follows:

Front: 15 feet from right-of-way Perimeter: 35 feet setback (except for along New Macland Rd) New Macland Road: 20 ft building setback Between buildings: Minimum of 10 feet

Rear Setback: 20 feet

Design Review shall be conducted via Administrative Review.

9. Units must be staggered to the extent required by code, they must provide some staggering or variation as approved by an Administrative Design Review.

10. Materials to be used on exterior facades of all buildings shall include no less than 50% brick or stone, on the front and side facades, if the rear of the building faces the main right-of-way, 50% brick on the rear façade that is visible to the main road will be required. The architectural style and composition of the homes shall consist of traditional architecture on all sides. Variety in the neighborhood will be provided using stone and different shades of brick. An administrative design review will be required.

11. The creation of a mandatory Homeowners' Association ("HOA") and the submission of Declaration of Covenants, Conditions and Restrictions ("CCRs") during the Plan Review process, which shall include, among other components, strict architectural controls. The mandatory HOA shall be responsible for the maintenance and upkeep of fencing, landscaping, open space areas, sidewalks, community areas, stormwater detention and/or water quality ponds, lighting, the entrance to the Residential Community and any and all amenities and infrastructure not specifically dedicated to the City by written and recorded deed.

12. The submission of a landscape plan during the Plan Review process which shall be subject to review and approval by the Community Development Director. Additionally, the landscape plan shall include, but not necessarily be limited to, the following:

 Detention pond landscaping and screening plan for around the proposed detention and water quality areas with Cryptomeria, Arborvitae and/or other

b. Compliance with landscape section renderings/elevations which will be submitted under separate cover during the Plan Review process. c. The landscape plan, which shall be prepared, stamped and signed by a Georgia Registered Landscape Architect or a degreed Horticulturist and shall identify open space areas; landscaped common areas; and other components of the proposed Residential Community which will be further identified during the Plan

Review process. d. The installation of underground utilities and the utilization of decorative lighting themed to the architectural style and composition as above mentioned. e. All HVAC, mechanical systems and home utilities within the community shall be screened by way of fencing and/or landscaping.

f. Entry signage for the proposed Residential Community shall be ground-based, monument-style, landscaped, lighted and irrigated. g. The installation of landscaped front, side, and rear yards. n. Compliance with the City's current Tree Preservation & Replacement Ordinance

and substantial conformity to all tree protection measures and the adherence to same during the construction and build out of the Residential Community. 13. A third-party management company shall be hired to manage the day-to-day operations of the

HOA and shall also be responsible for the management of all Association monies as well as insuring that the Association is properly insured until such time as the HOA makes a determination that it can undertake such responsibilities.

14. The Community Development Director shall have the authority to approve minor modifications

to these stipulations, the architectural renderings/elevations, the site plan and the overall proposal as it proceeds through the Plan Review process and thereafter except for those that: a) Increase the density of the Residential Community. b) Relocate a structure closer to the property line of adjacent property which is zoned the same or in a more restrictive zoning district. c) Increase the height of a building which is adjacent to property which is zoned in the same or more restrictive zoning district. d) Change access locations to different rights-of-way.

15. Road frontages will be heavily and professionally landscaped which may include the use of berms, fencing, and substantial plant material to provide for visual screening. All perimeter and roadway buffer areas will either be owned by the HOA or deed restricted with maintenance easements in favor of the HOA.

Sidewalk and gutter shall be developed along the New Macland Road frontage.

17. If actual construction on the site is inactive for a period of 6 months or more, the site be replanted per a plan approved by the Community Development Director showing compliance with minimum tree canopy, street trees and buffer.

18. The recorded covenants for this property shall provide: (a) Declarant or any builder constructing homes within the proposed community must sell any such home for owner occupancy only. (b) Thereafter, leasing of any units within the entire development, shall have a minimum lease term of one (1) year. (c) The mandatory homeowners association must maintain records dealing with any lease within the Development, and such records shall be made available and subject to review by the City of Powder Springs personnel with regard to enforcement of this provision limiting the total number of leases within the Development to no more than 5%. (d) The homeowner association shall agree to provide, upon request to the City of Powder Springs, and all information relating to existing leases at the time of any such request by the City. (e) The City shall be named a third-party beneficiary entitled but not obligated to enforce this provision of the covenants.

19. Traffic improvements shall be required as followed: a potential deceleration lane on New Macland Road and Cross access into the adjacent retail center. This traffic improvement and all other traffic improvements required as a result of city engineer review shall be the responsibility

So motioned, this 18th day of January 2022.

Patrick Bordelon, Council Member Doris Dawkins, Council Member Patricia Wisdom, Council Member

LINE LEGEND STORM SEWER SANITARY SEWER WATER MAIN

ABBREVATION LEGEND SSE | SANITARY SEWER EASEMENT DE DRAINAGE EASEMENT AE | ACCESS EASEMENT RBF REBAR FOUND CTPF | CRIMP TOP PIPE FOUND OTPF OPEN TOP PIPE FOUND BSL | BUILDING SETBACK LINE

PROPERTY LINE LEGEND RBF REBAR FOUND CTPF | CRIMP TOP PIPE FOUND OTPF OPEN TOP PIPE FOUND O IRON PIN FOUND (TYPE NOTED) IRON PIN SET CONCRETE MONUMENT FOUND (CCMF)

SYMBOL LEGEND		
	HEADWALL	
	FLARED END SECTION	
	SINGLE WING CATCH BASIN	
	DOUBLE WING CATCH BASIN	
\otimes	PEDESTAL INLET	
0	JUNCTION BOX	
	GRATE INLET	
Q	FIRE HYDRANT	
\boxtimes	VALVE	
WM	WATER METER	
S	SANITARY SEWER MANHOLE	
0	SANITARY SEWER CLEANOUT	
0	IRON PIN FOUND (TYPE NOTED)	
•	IRON PIN SET	
	CONCRETE MONUMENT FOUND (CCMF)	

SURVEYOR'S CERTIFICATION

AS REQUIRED BY SUBSECTION (d) of O.G.C.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY AINT FORCE.

USER OF THIS PLAT AS TO INTENDED USE OF ANY
PARCEL. FURTHERMORE, THE UNDERSIGNED LAND
PARCEL. FURTHERMORE, THAT THIS PLAT COMPLIES

OF DETIFIES THAT THIS PLAT COMPLIES PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET

AS SURVEYOR FOR GASKINS + LECRAW, INC.

JASON A. HOPKINS GEORGIA REGISTERED LAND SURVEYOR NO. 3215

FORTH IN O.C.G.A. SECTION 15-6-67.

Memorandum

September 19, 2022. Mayor and Council

Community Development

PZ 22—029. Rezoning: New Macland Road. To consider a change in zoning conditions. The property is located at 3189, 3215, and 3149 New Macland Road. PINs: 19072500020, 19072500090, 19068200030.Action:

Should approval be considered, staff proposes the following conditions:

1. To revise Stipulation 2, case number PZ 21-045 on January 18th, 2022 to read as follows: The applicant has worked with TSW (Comprehensive Plan Consultant) to revise the site plan. TSW has made recommendation for rear-entry lots within this development, and the applicant has determined that rear entry lots here are not feasible. As an alternative to this stipulation, the applicant has agreed to revise the site plan to show a central greenspace. This may result in the elimination of the five lots currently labeled as 26-30, or the relocation or reconfiguration of these lots to create this greenspace. Architectural features of the structures are subject to review and revision with TSW. The applicant shall pay a fee up to \$2500 for this review. The site plan may include the use of "dead-end" roads as shown on the concept plans requested as part of the PUD-R application if this is included in the final recommended design.

2. All current conditions in place for the subject site, approved under the case number PZ 21-045 on January 18th, 2022, remain in full effect except for the stipulation numbered 2 which required the applicant to submit and pay for external site plan review.

So motioned, this 19th day of September 2022.

ABSENT Doris Dawkins, Council Member

> PROJECT CONTACTS OWNER/DEVELOPER PROJECT ENGINEER GCSA MACLAND LLC DUANE HAGERMAN 20 MANSELL COURT EAST, SUITE 100 HAGERMAN DESIGN GROUP ROSWELL, GA, 30076 250 CHASTAIN ROAD NW. SUITE 125 KENNESAW, GA, 30144 CONTRACTOR 24 HR CONTACT MATT STANFORD JONATHAN PRESSLEY STANFORD EXCAVATING INC. PO BOX 406 ROCKMART, GA 30153

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MARIETTA, GA 30064 PHONE www.gaskinslecraw.co

LSF001371

REVISIONS:

CALL BEFORE YOU DIG

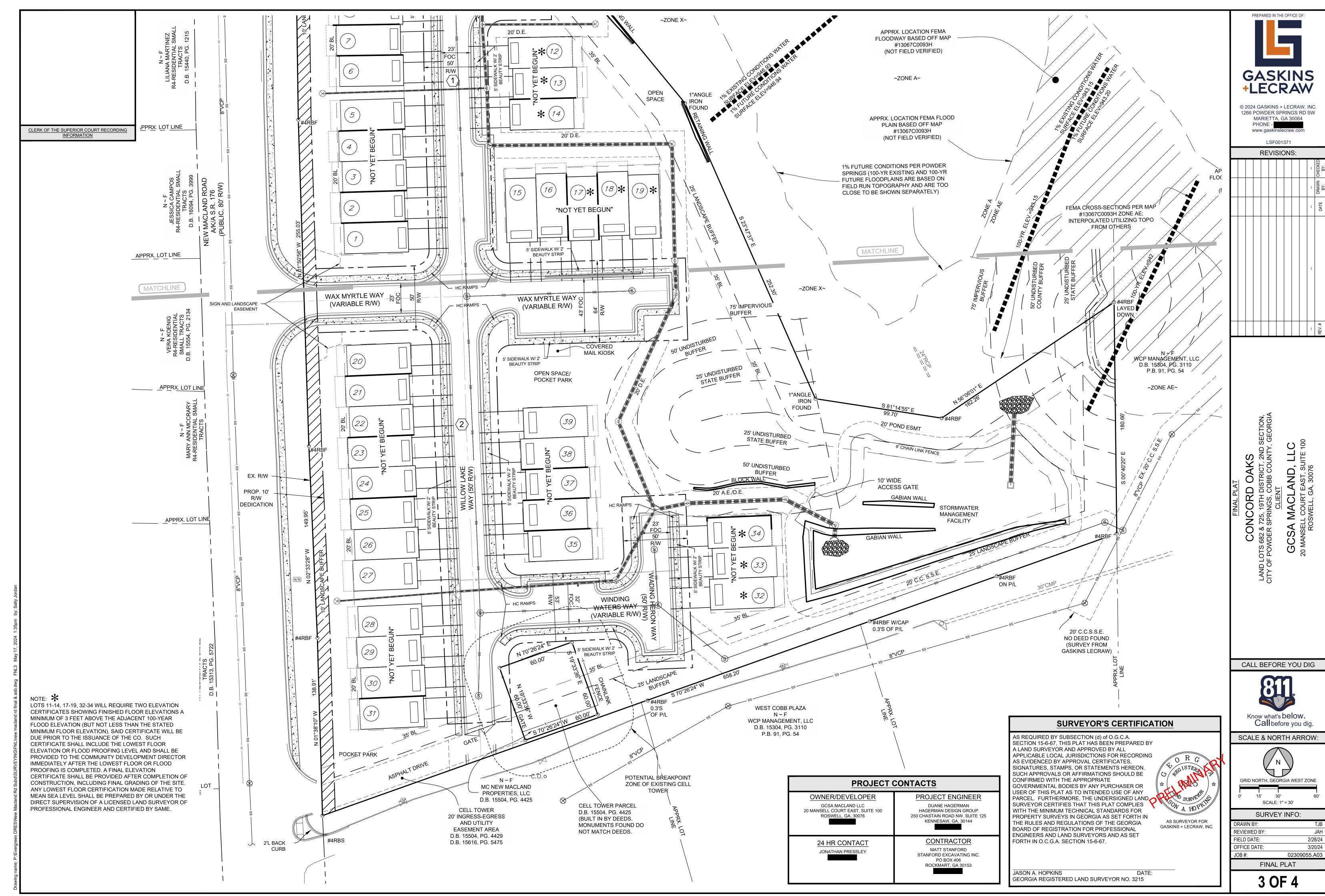
Know what's **below**. Call before you dig.

SCALE & NORTH ARROW: GRID NORTH, GEORGIA WEST ZONE

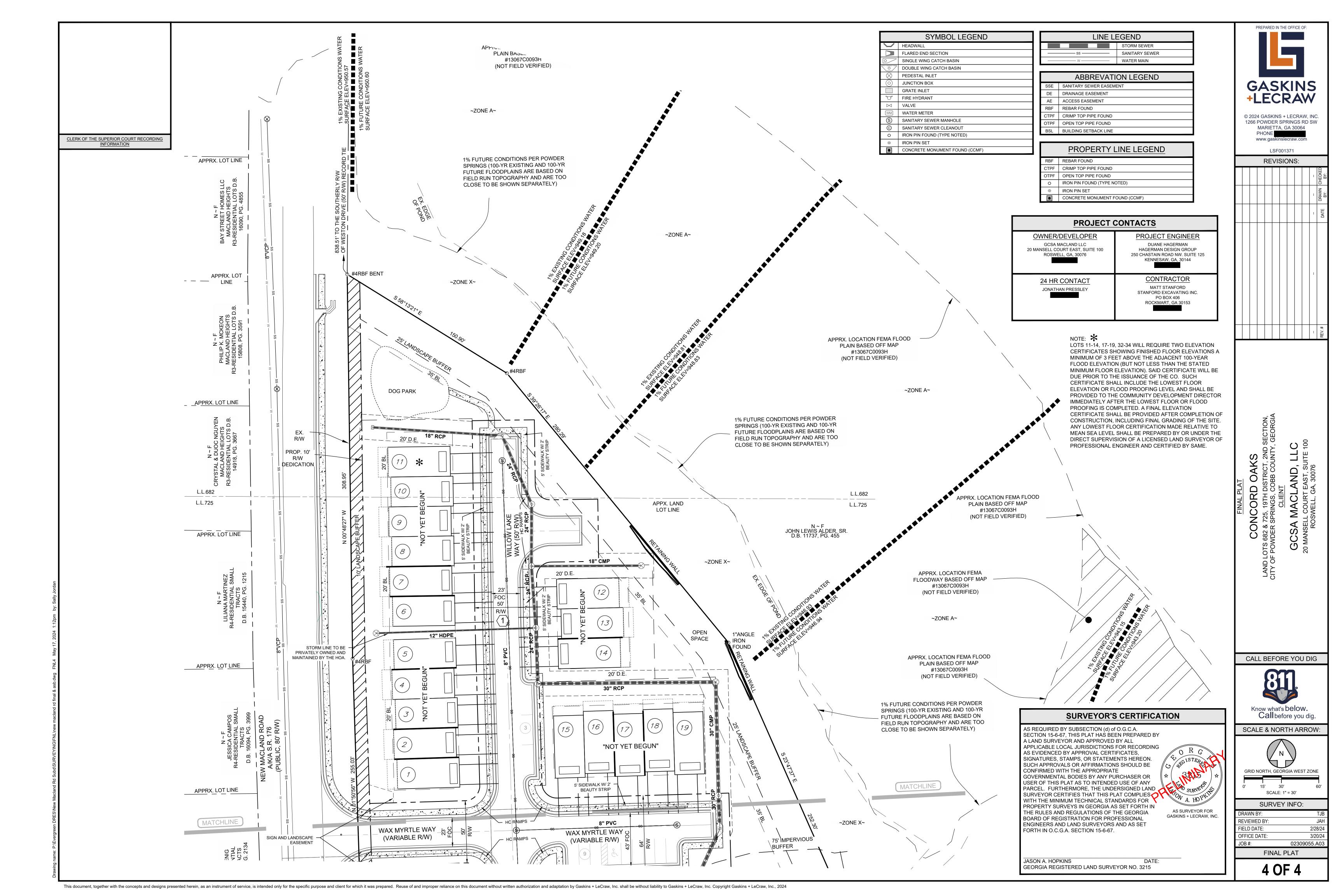
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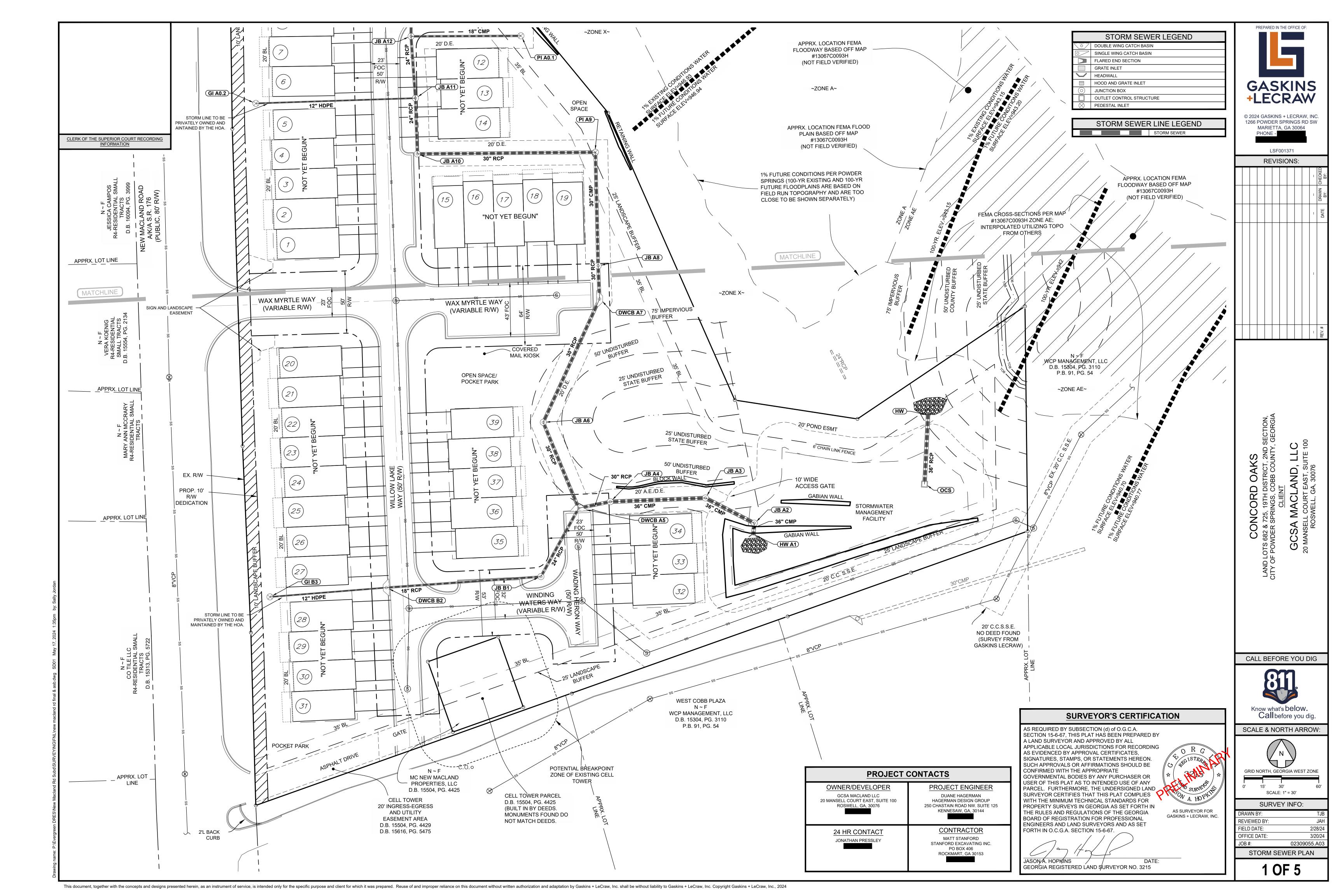
TELD DATE: 2/28/24 OFFICE DATE: JOB #: 02309055.A03 ZONING

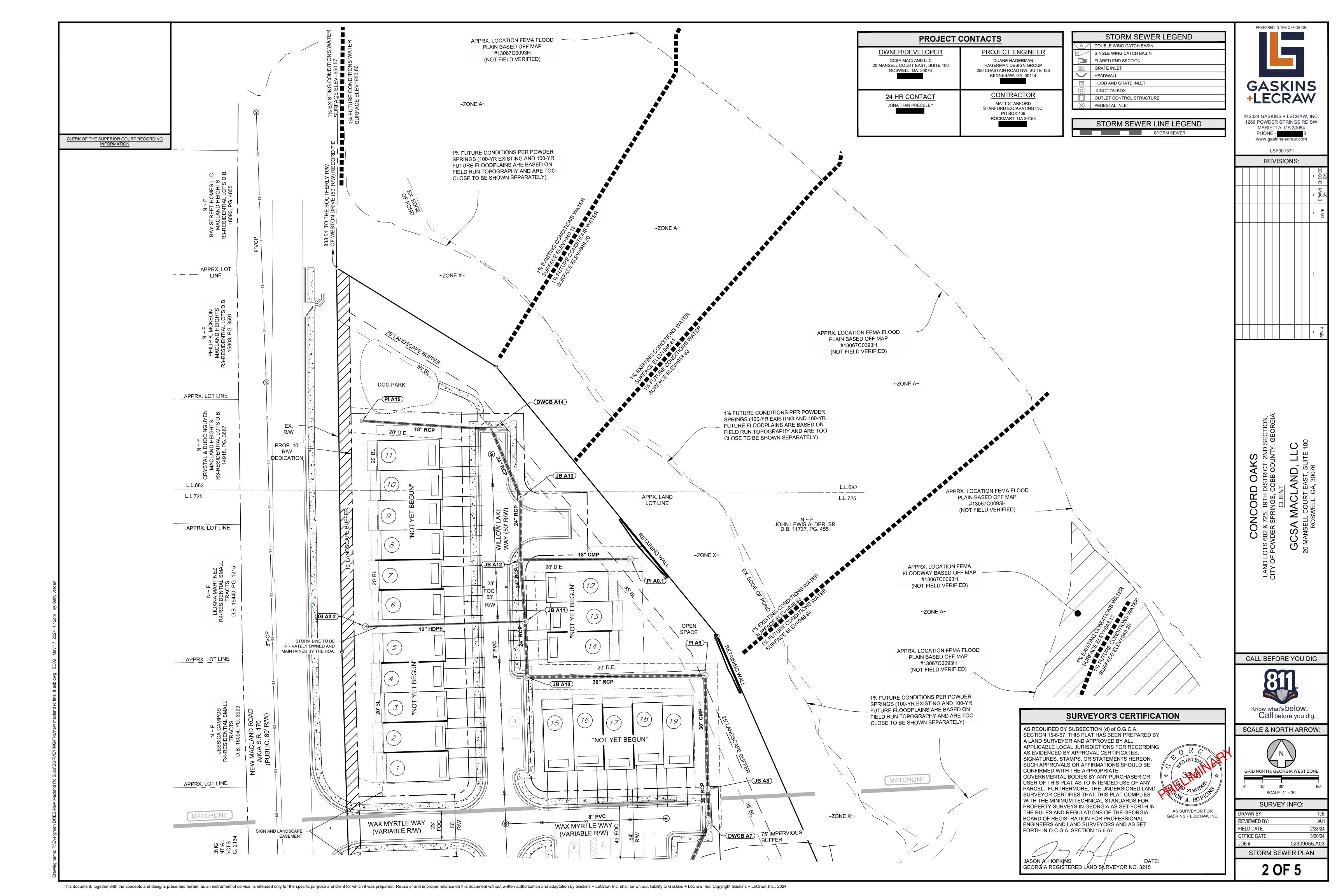
2 OF 4



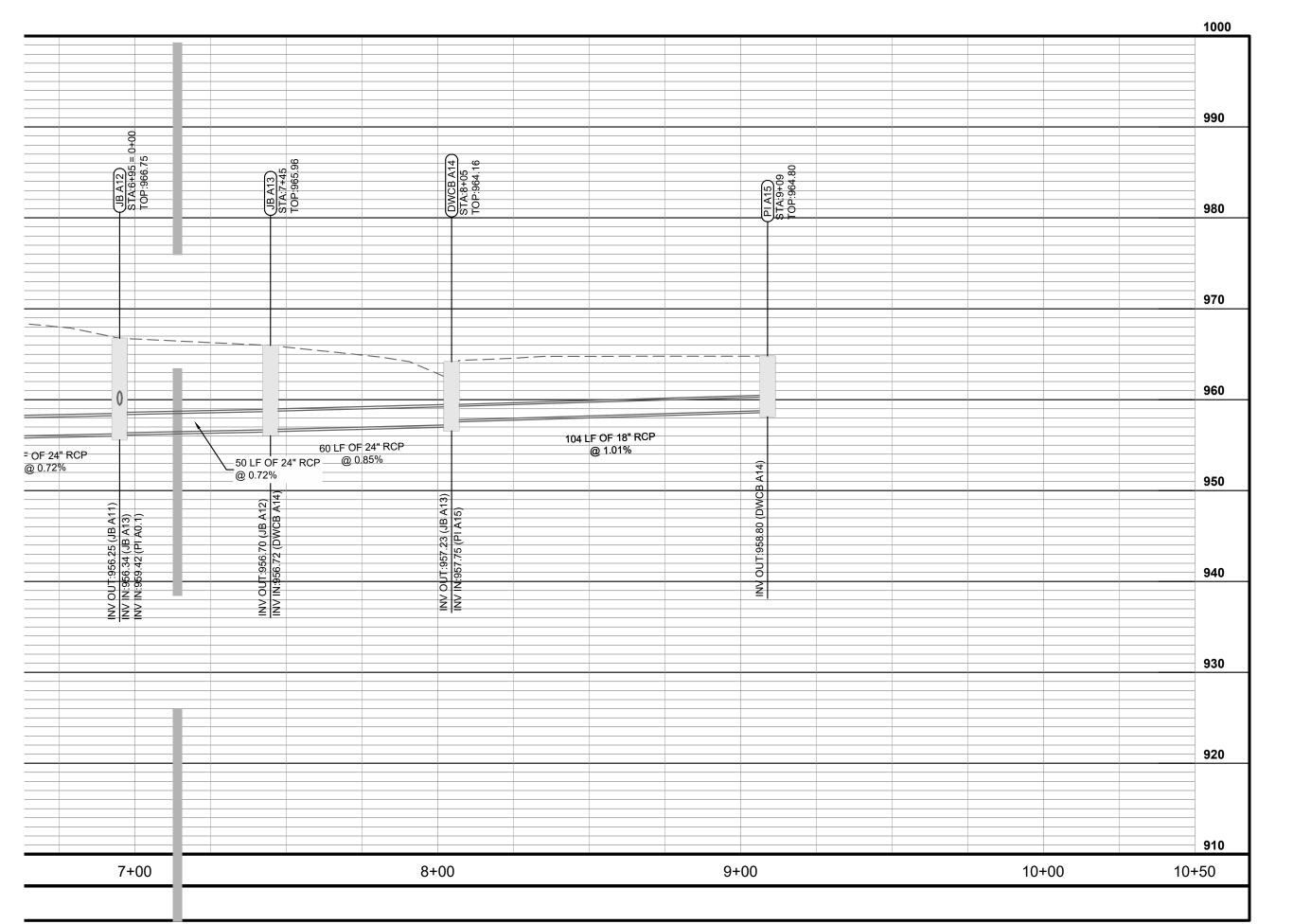
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CLERK OF THE SUPERIOR COURT RECORDING INFORMATION 50 LF OF 24" RCP 45 LF OF 24" RCP — 50 LF OF 24" RCP — 143 LF OF 30" RCP @ 1.29% @ 0.72% @ 0.53% 75 LF OF 30" RCP @ 0.89% 77 LF OF 36" RCP @ 0.52% INV IN:947.00 (JB A2) 27 LF OF 30" RCP 44 LF OF 36" RCP @ 0.54% @ 1.18% @ 0.56% __ 26 LF OF 30" RCP __ ___ 9 LF OF 36" RCP __ @ 3.20% = 7+00 0+00 1+00 2+00 3+00 4+00 5+00 6+00 A1-A15



PROFILE SCALES: HORT. - 1"=30', VERT. - 1"=10'



LAND LOTS 682 & 725, 19TH DISTRICT, 2ND SECTION, CITY OF POWDER SPRINGS, COBB COUNTY, GEORGIA CLIENT

GCSA MACLAND, LLC

20 MANSELL COURT EAST, SUITE 100

ROSWELL, GA. 30076

CALL BEFORE YOU DIG

Know what's below.
Call before you dig.
SCALE & NORTH ARROW:

GRID NORTH, GEORGIA WEST ZONE

0' 15' 30' 60'

SCALE: 1" = 30'

SURVEY INFO:

DRAWN BY: TJB

REVIEWED BY: JAH

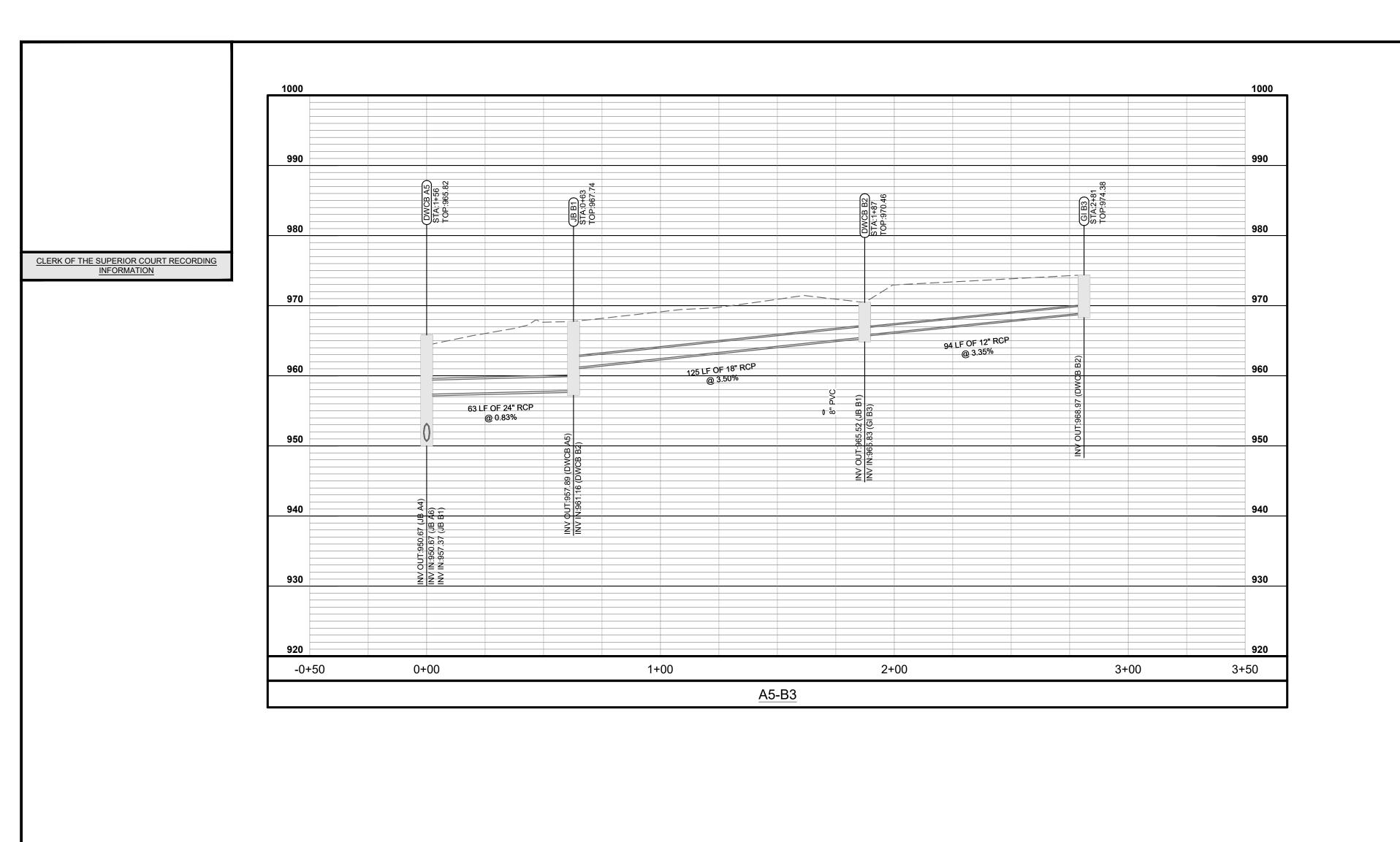
FIELD DATE: 2/28/24

STORM SEWER PROFILE

3 OF 5

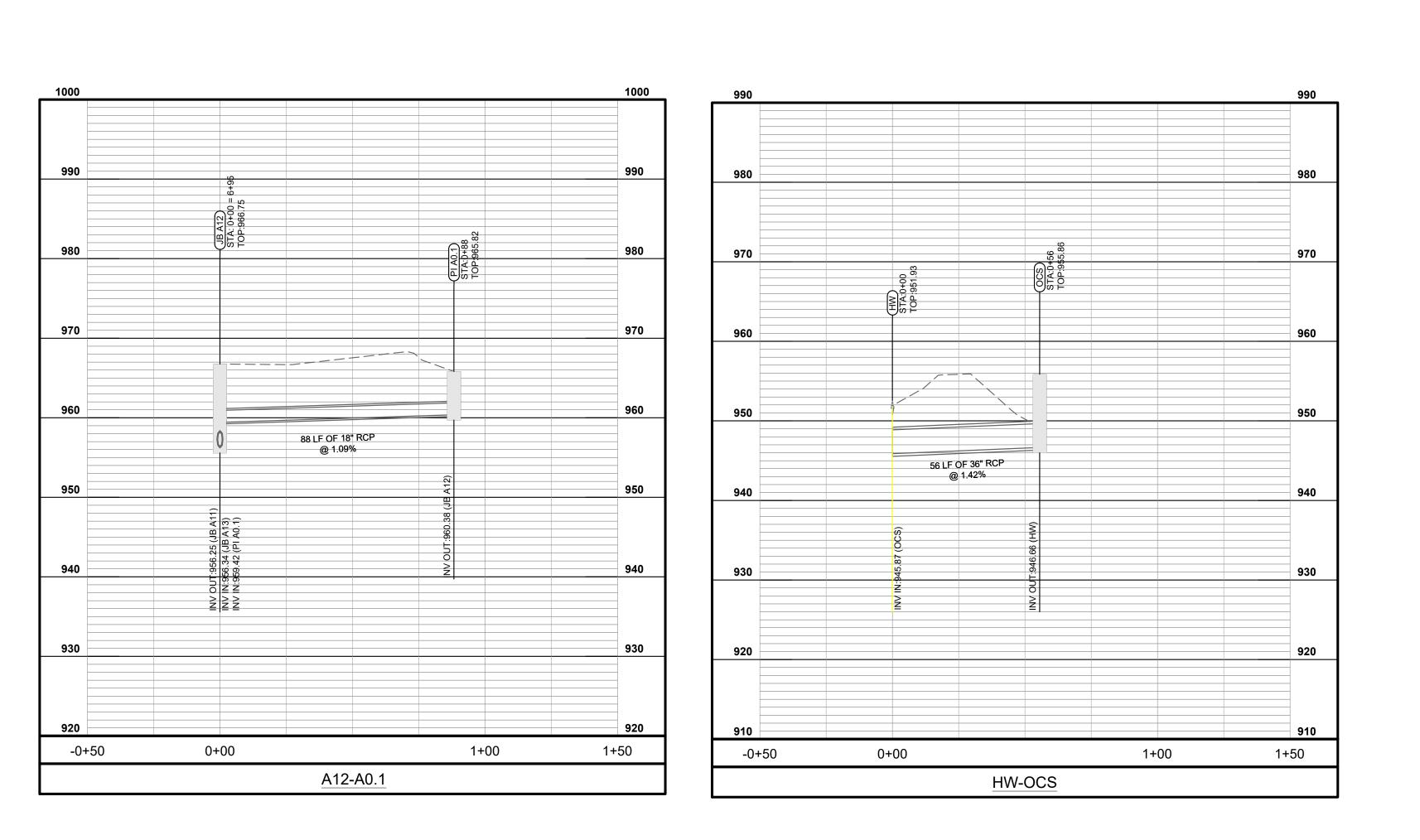
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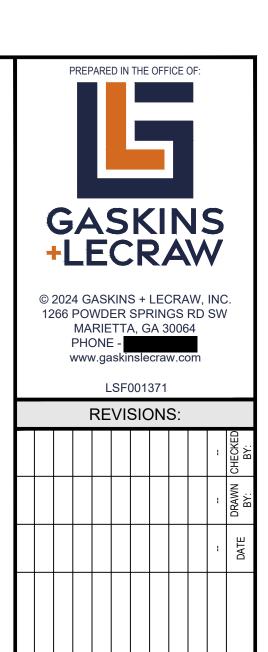
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PROFILE SCALES: HORT. - 1"=30', VERT. - 1"=10'





CONCORD OAKS

AND LOTS 682 & 725, 19TH DISTRICT, 2ND SECTION,

Y OF POWDER SPRINGS, COBB COUNTY, GEORGIA

CLIENT

GCSA MACLAND, LLC

20 MANSELL COURT EAST, SUITE 100

Know what's below.
Call before you dig.

SCALE & NORTH ARROW:

GRID NORTH, GEORGIA WEST ZONE
0' 15' 30' 60
SCALE: 1" = 30'

SURVEY INFO:

DRAWN BY: TJB

REVIEWED BY: JAH

FIELD DATE: 2/28/24

OFFICE DATE: 3/20/24

JOB #: 02309055.A03

STORM SEWER PROFILE

4 OF 5

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2+00

2+50

970

-0+50

0+00

128 LF OF 12" RCP @ 1.32%

1+00

A11-A0.2

