

CASE OVERVIEW

Public Hearing Dates

Planning and Zoning Public Hearing: November 26, 2018

Mayor and Council Public Hearing: December 3, 2018

File #: PZ 18--036

APPLICATION: Hardship Variance, Paran Homes

PETITION: The applicant, Paran Homes, is requesting a hardship variance to reduce the front setback from 35 feet to 25 feet, reduce the right-of-way width from 60 feet with 28 feet of required pavement to 50 feet with 24 feet of pavement, and reduce the minimum lot size for fee simple townhomes from 2,000 square feet to 1,700 square feet.

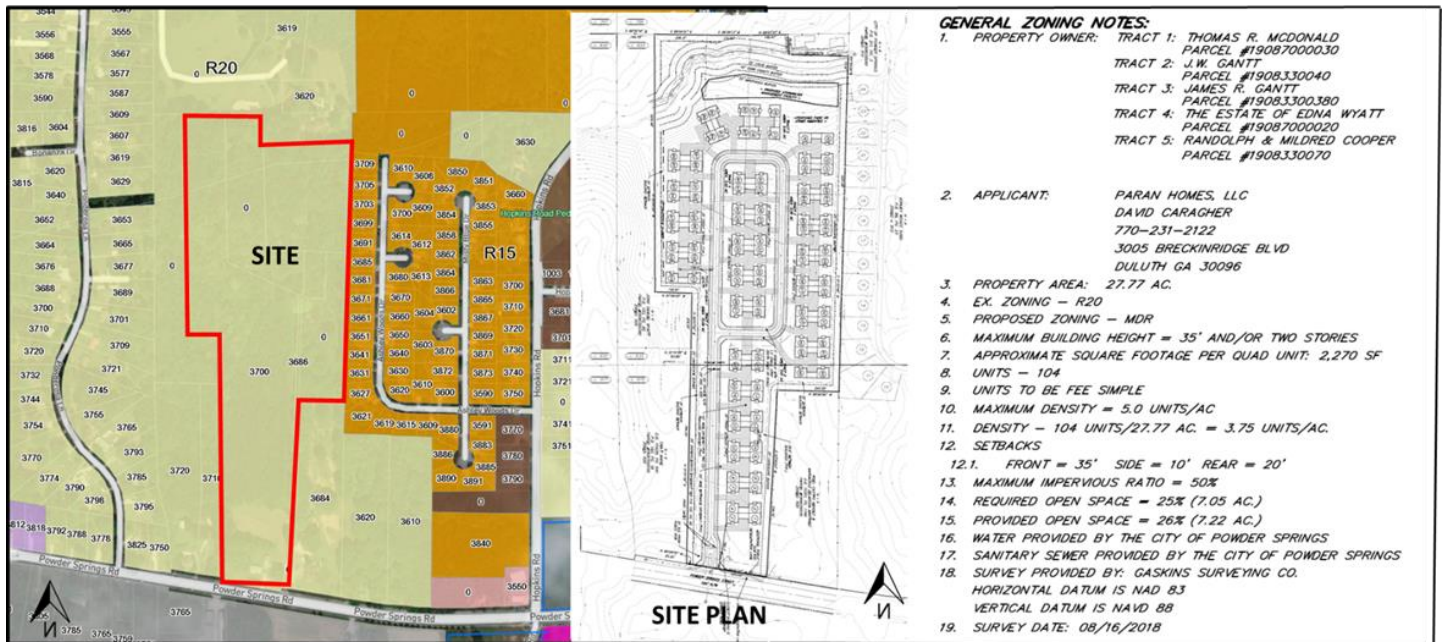
PURPOSE OF THE REQUEST: To vary from the following sections of the UDC:

1. Setback Reduction: Table 2-2 Dimensional Requirements for Residential Zoning Districts
2. Right-of-way width: Section 8-63
3. Minimum lot size: Section 4-120.

LOCATION: Land Lots 833 & 870, 19th Districts, Powder Springs, Georgia.
3700 Powder Springs Road

ACRES: 27.77 acres, 19087000030, 1908330040, 19083300380, 19087000020, 1908330070

Location Map



1. Setback Reduction:

Table 2-2
Dimensional Requirements for Residential Zoning Districts
 NP = Not Permitted NA = Not Applicable

MINIMUM LOT SIZE AND MAXIMUM DENSITY BY USE	R-30	R-20	R-15	MDR
Minimum lot size, detached single-family dwelling lot (square feet)	30,000	20,000	15,000	11,000
Minimum lot size, two-family dwelling lot (square feet)	NP	NP	NP	22,000
Minimum lot size, fee simple townhouse lot	NP	NP	NP	2,000
Minimum lot size, lot for any other permitted use not otherwise specified in this table (square feet)	30,000	20,000	15,000	11,000
Maximum residential density, detached single-family dwelling (dwelling units per acre)	1.2	1.75	2.3	3.2
Maximum residential density, permitted multiple-family dwelling types (dwelling units per acre)	NP	NP	NP	5.0
Maximum residential density, multiple-family dwelling types with special use approval (dwelling units per acre)	NP	NP	NP	8.0
MINIMUM LOT WIDTH AT FRONT SETBACK				
Minimum lot width, all uses except as noted (feet)	100	90	75	60
Minimum lot width, fee simple townhouse lot (feet)	NP	NP	NP	20
Minimum lot width, fee simple townhouse lot at end of building (feet)	NP	NP	NP	30
MINIMUM LOT FRONTAGE ON STREET				
Minimum lot frontage on street, except cul-de-sac lot, all uses (feet)	100	90	75	60
Minimum lot frontage on street, cul-de-sac lot, all uses (feet)	50	45	40	35
BUILDING AND SITE REQUIREMENTS				
Maximum impervious surface coverage of a lot, detached single-family dwelling (percent)	25%	30%	35%	40%
Maximum impervious surface coverage of a lot, permitted uses other than detached single-family dwelling (percent)	35%	40%	45%	50%
BUILDING HEIGHT REQUIREMENTS				
Maximum building height (feet)	35	35	35	35
Maximum building height (number of stories)	2	2	2	2
SETBACKS FOR PRINCIPAL BUILDINGS AND ACCESSORY STRUCTURES LARGER THAN 144 SQUARE FEET IN FLOOR AREA				
Front (feet)	45	35	35	35
Side (feet)	12	10	10	10
Rear (feet)	40	35	30	20
ACCESSORY BUILDINGS OF 144 SQUARE FEET				

2. Right-of-way width: Section 8-63

Sec. 8-63. Minimum Street Right-of-Way and Pavement Width.

All State or U.S. numbered highways shall meet all design requirements of and be approved by the Georgia Department of Transportation. All other roads shall meet the minimum street right-of-way and pavement width requirements of Table 8-1. The community development director shall determine which street classification applies in particular instances, based on the city's adopted comprehensive plan, or in the absence of specific functional classifications in the comprehensive plan, based on the city, county, or regional transportation plan.

**Table 8-1
Minimum Required Street Right-of-Way and Pavement Widths
(Excludes State and U.S. Numbered Highways)**

Street Classification	Minimum Required Right-of-Way Width	Minimum Required Pavement Width
Arterial	100 feet	52 feet with 13 foot lanes
Major Collector	80 feet	52 feet with 13 foot lanes
Minor Collector	60 feet	28 feet with 14-foot lanes
Minor Collector – Residential	60 feet	24 feet
Local Commercial or Industrial Street	60 feet	28 feet with 14-foot lanes
Local Residential Street	50 feet	20 feet; 18 feet with vertical curb and gutter
Alley	20 feet	16 feet within 20 foot roadbed

In residential subdivisions or land developments, streets that serve **100 dwelling units or more shall be improved to or exceed "minor collector"** street standards, while those serving fewer than 100 dwelling units shall be improved to or exceed "local" street standards.

3. Minimum lot size: Section 4-120. b.

(b) **Minimum lot size.** The minimum lot size for a fee-simple townhouse lot shall be 2,000 square feet, with an overall average of 2,400 square feet for the townhouse development.