

Staff Report

Date: May 1, 2026

To: Planning & Zoning Commission

From: JoAnna Robinson

Subject: Re-zoning of Approximately 26.53 acres from CRC & R-30 to MXU at Intersection of Brownsville Rd & CH James Pkwy

PZ: PZ26-022

Location:

PIN: 19097300030. LL973 of the 19th District, 2nd Section, Cobb County Approximately 9.7 acres. Current zoning is Community Retail Commercial (CRC).

PIN: 19097300050. LL973 of the 19th District, 2nd Section, Cobb County Approximately 4.9 acres. Current zoning is CRC.

PIN: 19097300020. LL973 of the 19th District, 2nd Section, Cobb County Approximately 1.7 acres. Current zoning is CRC.

PIN: 19097300060. LL973 AND LL1026 of the 19th District, 2nd Section, Cobb County Approximately 6.5 acres. Current zoning is R-30.

PIN: 19102600030. LL1026 AND LL1027, of the 19th District, 2nd Section, Cobb County, Approximately 4.8 acres. Current zoning is CRC.

Background:

The Applicant, Parke Lammerts, on behalf of Arris, is requesting a rezoning of the above properties to Mixed Use (MXU). This assemblage features five adjacent parcels, stretching continuously from the intersection of C.H. James Parkway and Brownsville Road down to the neighboring retail tract of an auto parts store. All five of these properties border Cobb County unincorporated as well.

As a note, the City of Powder Springs is widening Brownsville Road in this area. The project is known as 'Brownsville Road Improvements' aka Project No. 1476.011 (**RESO 23-131 THRU RESO 23-134**). To make this infrastructure upgrade possible, the City has successfully acquired 10 to 20 feet of road frontage R/W from all five adjacent properties (**RESO 24-094**).

Property zoning in adjacent properties:

N – Unincorporated Cobb County. Single family residences, zoning of R-20. Future land use (FLU) of Low Density Residential (LDR). Across the street from C H James Pkwy is CRC with the FLU of Commercial Corridor. MXU abuts the property that fronts C H James Pkwy.

E – MXU and CRC (across the street of Brownsville Road)

S – MXU and CRC (across the street of Brownsville Road)

W- Unincorporated Cobb County. Single family residences, zoning of R-20. Future land use (FLU) of Low Density Residential (LDR).

Request:

To Rezone all five parcels to MXU to allow for the development of a mixed-use project consisting of 256 Class A multifamily units and 5 commercial outparcels with approximately 15,000 – 20,000 square feet of neighborhood-oriented space. The proposed residential component will consist primarily of one-, two-, and three-bedroom apartment homes with high-quality interior finishes and modern amenity offerings. Community amenities are anticipated to include a resort-style pool, clubhouse, fitness center, coworking and business facilities, dog park area, pedestrian gathering spaces, landscaped courtyards, and integrated open space areas designed to encourage walkability and community interaction. Also, the development will have approximately 8.77 acres of land for future commercial development. The proposed commercial uses are anticipated to include retail, restaurant, service-oriented, and other neighborhood-supporting uses intended to serve both residents of the development and the surrounding community.

Figure 1 – Zoning Map

Figure 2 – Overhead view of surrounding properties

Figure 3 – Future Land Use Map (FLUM)

Figure 4 – Site Plan

Figure 5a -5d – Conceptual Renderings

Figure 1 – Zoning Map

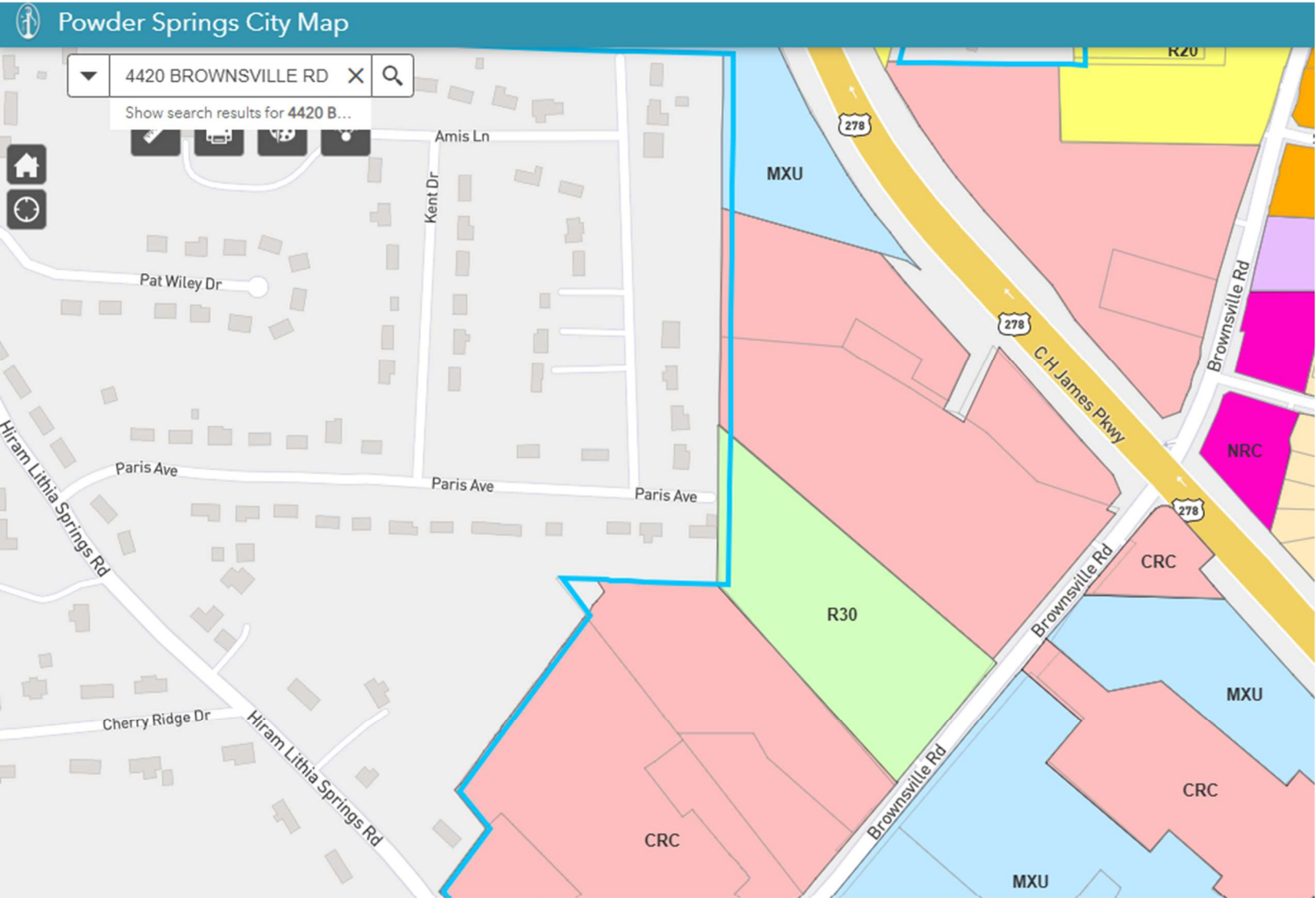


Figure 3 – Future Land Use Map (FLUM)

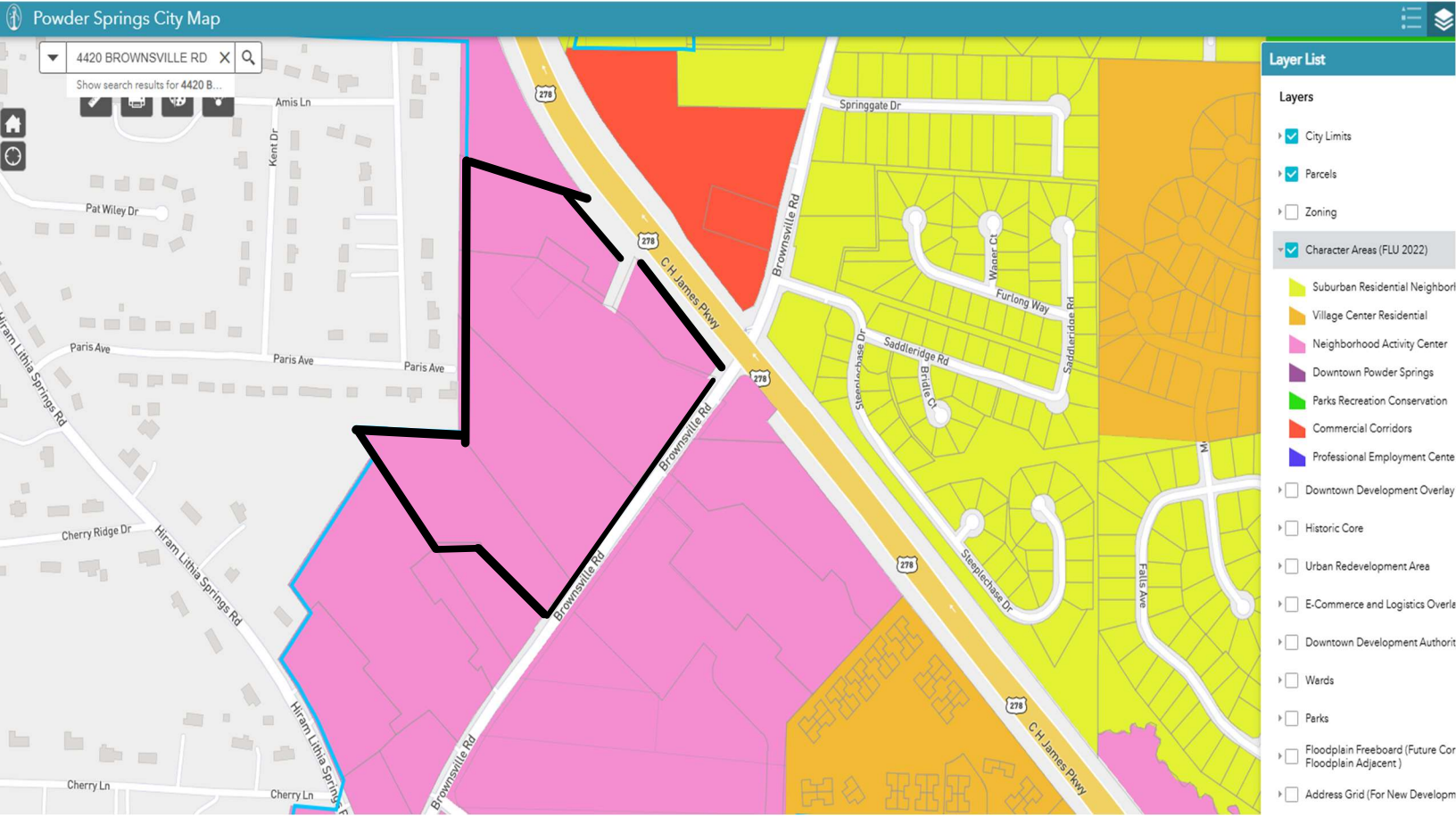


Figure 5a – Conceptual Renderings



ZN-01

Site Plan

ARRIS POWDER SPRINGS

C.H. JAMES PKWY AND BROWNSVILLE RD, POWDER SPRINGS, GA



SITE RENDERINGS FOR
REZONING SUBMISSION

Figure 5b - Conceptual Renderings



ZN-02

Entry/Clubhouse

ARRIS POWDER SPRINGS

C.H. JAMES PKWY AND BROWNSVILLE RD, POWDER SPRINGS, GA



**SITE RENDERINGS FOR
REZONING SUBMISSION**

Figure 5c - Conceptual Renderings



ZN-03

Prominent Building

ARRIS POWDER SPRINGS

C.H. JAMES PKWY AND BROWNSVILLE RD, POWDER SPRINGS, GA



**SITE RENDERINGS FOR
REZONING SUBMISSION**

Figure 5d – Conceptual Renderings



ZN-04

Typical building

ARRIS POWDER SPRINGS

C.H. JAMES PKWY AND BROWNSVILLE RD, POWDER SPRINGS, GA



**SITE RENDERINGS FOR
REZONING SUBMISSION**

Criteria for Rezoning Decisions: (Applicant's Answers)

- a. Whether the proposed zoning district and uses within that district are compatible with the purpose and intent of the comprehensive plan. The future development map and the future land use plan map of the city's comprehensive plan shall be used in decision making relative to amendments to the official zoning map.**

The proposed rezoning and mixed-use development are fully compatible with the purpose and intent of the City of Powder Springs Comprehensive Plan and Future Land Use Map. The property is designated as a Neighborhood Activity Center, which specifically identifies MXU as an appropriate zoning and encourages integrated mixed-use developments that combine residential and commercial uses. The proposed multifamily residential and neighborhood commercial uses directly support the Comprehensive Plan's goals of expanding housing diversity, promoting redevelopment, enhancing economic development, and creating vibrant activity centers.

- b. Whether the proposed zoning district and uses permitted within that district are suitable in view of the zoning and development of adjacent and nearby property.**

The proposed zoning district and development are suitable in view of the zoning and development patterns of nearby properties. The project's mixed-use character, architectural quality, and commercial components will complement surrounding development while serving as a catalyst for additional investment and redevelopment within the corridor and surrounding area.

- c. Whether the existing use or usability of adjacent or nearby property will be adversely affected by one or more uses permitted in the requested zoning district.**

The proposed development will not adversely affect the existing use or usability of adjacent or nearby properties. To the contrary, the project is anticipated to enhance surrounding property values and strengthen nearby commercial activity through high-quality development, increased investment, enhanced streetscape improvements, and additional customer base generated by the residential component.

- d. Whether there are substantial reasons why the property cannot or should not be used as currently zoned;**

There are substantial reasons why the property should not remain in its current zoning classification. The existing zoning does not adequately implement the vision and goals of the Comprehensive Plan for mixed-use redevelopment and activation of the Neighborhood Activity Center area. The property is currently underutilized and does not maximize the site's economic potential or contribution to the surrounding area.

e. Whether public facilities such as roads, schools, water and sewer utilities, and police and fire protection will be adequate to serve the proposed zoning district and uses permitted.

Public facilities and infrastructure will be adequate to serve the proposed development. The property is served by existing road infrastructure and access to public utilities, including water and sewer services. The development will be designed in coordination with City staff and applicable agencies to ensure adequate service levels for transportation, utilities, police, fire, and other public services.

f. Whether the proposed zoning district and uses permitted within that zoning district are supported by new or changing conditions not anticipated by the comprehensive plan or reflected in the existing zoning on the property or surrounding properties.

The proposed rezoning is supported by changing market conditions and development trends that emphasize mixed-use environments, housing diversity, and integrated commercial activity. The City's Comprehensive Plan specifically identifies the need for additional mixed-use development, quality housing opportunities, redevelopment investment, and economic activation within designated activity centers and commercial corridors.

g. Whether the proposed zoning district and uses permitted within that zoning district reflect a reasonable balance between the promotion of the public health, safety, morality or general welfare and the right to unrestricted use of property.

The proposed rezoning reflects a reasonable balance between the promotion of public health, safety, morality, and general welfare and the property owner's right to reasonable use of the property. The project will provide substantial public benefits through quality development, increased tax base, expanded housing opportunities, enhanced pedestrian connectivity, neighborhood-serving commercial uses, and long-term economic investment while remaining compatible with the City's adopted planning policies.

Staff Analysis

FLUM & Density Compliance

- **FLUM Support:** The proposed use aligns with the City's Future Land Use Map (FLUM) designation as a Neighborhood Activity Center.
- **UDC Sec. 2-23.5, Table 2-5 Mix Requirements:** Regulations require a minimum of 50% residential and open space, and a maximum of 50% office and commercial space.
- **Density Limits:** Because of the updated Comp Plan, the UDC chart 2-23.5 does not apply.
- **Per UDC 2-23.5, Table 2-5: FAR Limits:** The Floor-Area Ratio (FAR) for the commercial component is capped at **0.25**.
- **Density Distribution of all residential units:** Per City of Powder Springs Comp Plan (updated in 2021) 'established as part of the zoning approval of each new development'
- **Site Plan Density:** The developer proposes 256 multifamily units on 12.27 acres. 26.5 acres is the total site acreage. (~10 du/ac).

HOWEVER, please see UDC 1-7 "Density: The number of dwelling units per acre. When determining residential density areas containing wetlands, floodplains, or required stream buffers shall be excluded."

Parking Analysis

- **Total Provided:** The site plan includes 420 total parking spaces, which is more than adequate for the project.
- **Guest Parking Requirement:** Per **UDC Sec 6-9(a)**, guest parking must be provided at a rate of 0.35 spaces per dwelling unit.
- **Guest Parking Calculation:** 256 units × 0.35 = **89.6 required guest spaces.**

Site Design & Setbacks

- **Right-of-Way (R/W):** The builder must construct all structures behind the new 10-to-20-foot R/W dedication.
- **Buffer Requirements:** Per original site plan given to Staff, 80' set back bordering Cobb County unincorporated. 100' setback fronting CH James due to GA Power easement.

Studies & Submittals

- **Traffic Study:** Per **UDC 13-34(h)**, a study is only triggered at 350 dwelling units or more. (The project has 256 units, so it may be exempt). However, one was performed for apartment complex down the street.
- **Signal Warrant Study** Was performed for the apartment complex down the street.
- **Cobb DOT**
- **Fire Marshal**
- **Cobb Water and Sewer**
- **Cobb County** – was sent on June 5, 2026
- **Cobb County School District**

Local

- Another apartment complex nearby consists of 300 units on 20 acres. They successfully requested a variance to increase their allowed density from 12 du/ac to 15 du/ac.

UDC Sec. 2-21(j)

“Sequencing of commercial with residential development. Unless another sequencing provision is substituted by Mayor and City Council as part of the MXU development approval, no more than 50% of the total number of dwelling units authorized in the MXU development shall receive building permits from the city until a building permit is issued, and certificate of occupancy is issued for at least 5,000 square feet of nonresidential space or 25% of the square footage of nonresidential development authorized in the MXU development, whichever is greater.”

As of June 10, 2026, Staff contacted applicant and applicant will be sending an updated site plan with a lower density count.