

Note: Construction shall comply with the 2018 IRC with Georgia Amendments and the 2020 NEC. All engineered lumber shall comply with the manufacturers span and loading requirements.

NOTE: Every effort has been made to identify code violations. Any oversight by the reviewer shall not be considered as authority to violate, set aside, cancel or alter applicable codes or ordinances. The plan review and permit issuance shall not be considered a warranty or guarantee.

NOTE: All roof loads of covered decks and porches must transfer to the supporting columns below and not the deck structure. Additional roof loading must be used to calculate minimum footing size.

NOTE: Tempered glass is required if all the following conditions exist:  
● Individual pane of glass is > 9 sq. ft.  
● Bottom edge is < 18 inches above floor  
● Top edge is > 36 inches above floor

Any window within a 24 inch arc of either side of a door and is < 60 inches above the floor is also required to be tempered.  
Windows located within 60 inches of a bathtub or shower and are < 60 inches above the floor are required to be tempered.

Note: Per section 311 of the 2018 IRC a handrail is required for stairs with four or more continuous risers. Requirements for handrails are also found in section 311. Guardrails shall be provided along walking surfaces located more than 30" vertically from the level below per 2018 IRC section R312.

Note: All electrical installations shall comply with the 2020 NEC. Receptacle location, branch circuits, AFCI and GFCI protection shall be provided per article 210 and all other applicable articles.

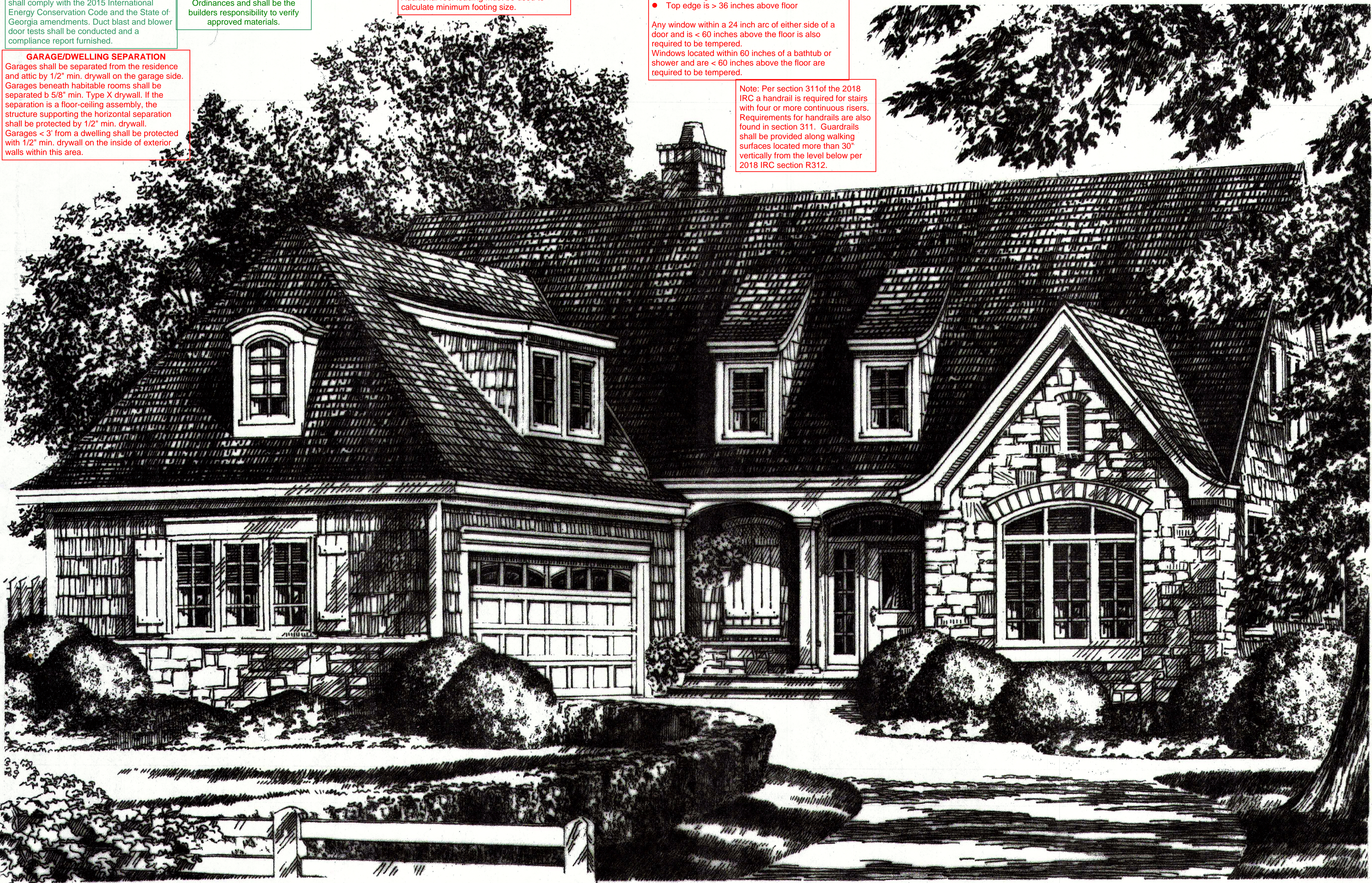
Note: The building thermal envelope systems and electrical power and lighting systems shall comply with the 2015 International Energy Conservation Code and the State of Georgia amendments. Duct blast and blower door tests shall be conducted and a compliance report furnished.

Note: All exterior finish materials shall comply with all City/County Ordinances and shall be the builders responsibility to verify approved materials.

**GARAGE/DWELLING SEPARATION**  
Garages shall be separated from the residence and attic by 1/2" min. drywall on the garage side. Garages beneath habitable rooms shall be separated by 5/8" min. Type X drywall. If the separation is a floor-ceiling assembly, the structure supporting the horizontal separation shall be protected by 1/2" min. drywall. Garages < 3' from a dwelling shall be protected with 1/2" min. drywall on the inside of exterior walls within this area.

Receptacles serving kitchen counter top, laundry, restrooms, garages and outside are required to be GFCI protected. All receptacles in a basement need to be GFCI protected per section 210.5A of the 2020 NEC.

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Note: Each bedroom, basement and habitable attic shall be provided with an emergency escape opening having a minimum 5.7 sq. ft. net clear opening and must also have a minimum clear height of 24" and a width of 20". Grade floor windows with a sill height .44" above or below finished grade shall have 5.0 sq. ft. minimum net clear opening.

Lumber spans for headers shall be designed to the header span tables 602.7 of the 2018 IRC.

**SMOKE DETECTORS** - Smoke Detectors shall be installed in sleeping rooms, outside of sleeping areas in the near vicinity of bedrooms and on each additional story (including basements and habitable attics). A CO detector is also required outside of sleeping areas in the near vicinity of bedrooms.

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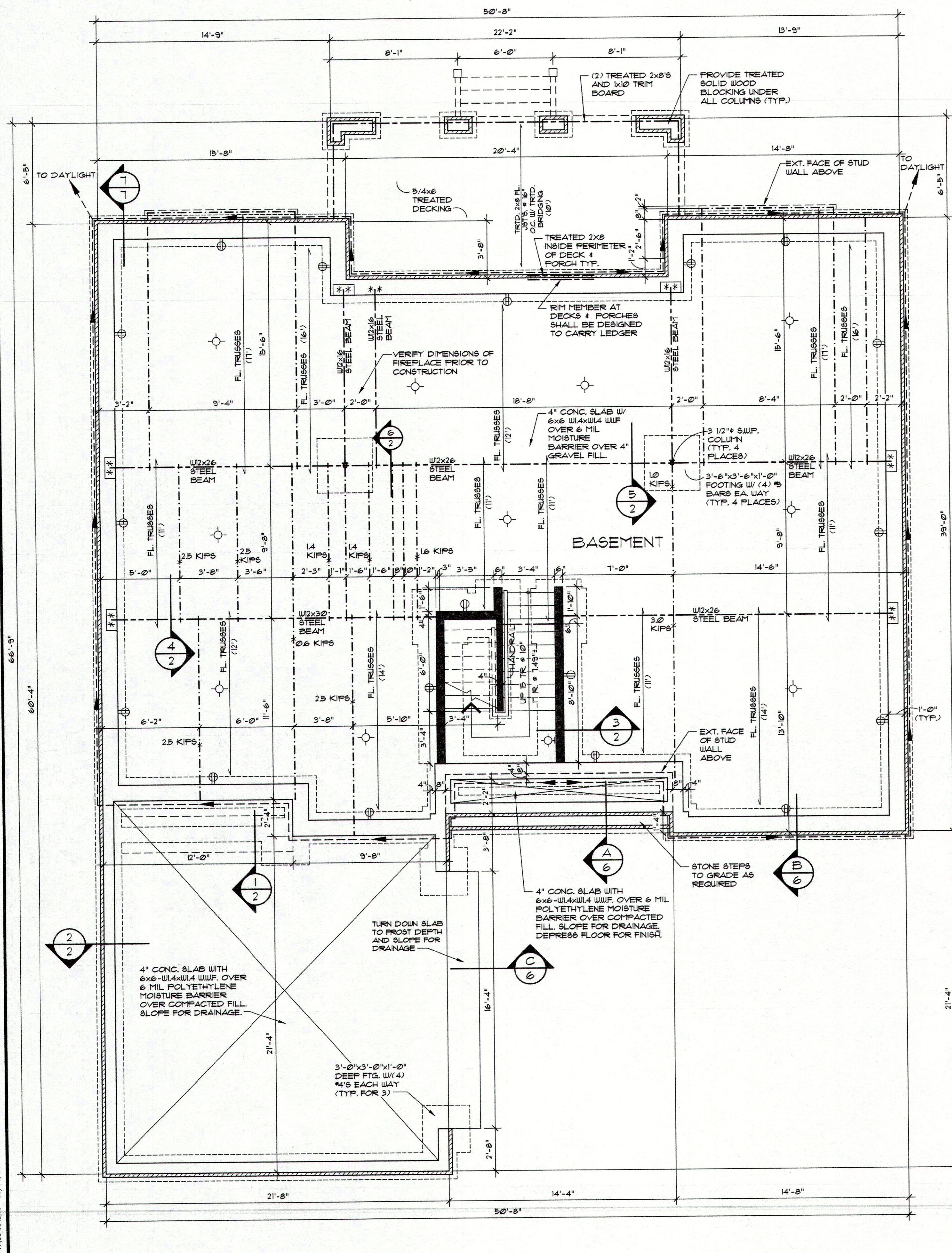
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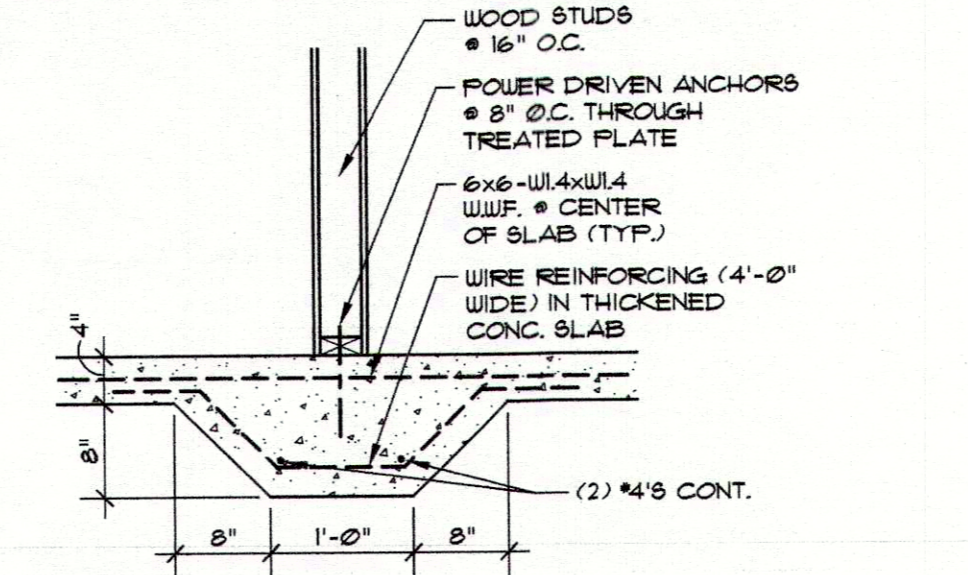
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COVERSHEET

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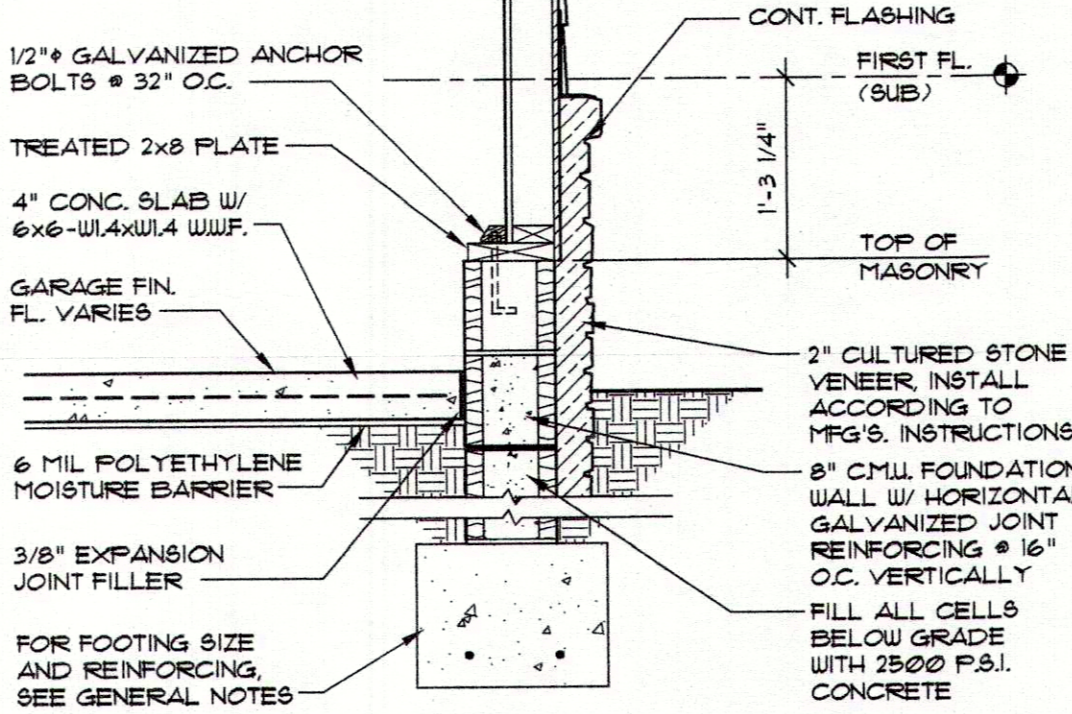
P.S.



**BASEMENT AND FIRST FLOOR FRAMING PLAN**  
1/4" = 1'-0"  
(3) INDICATES THE NUMBER OF STUDS UNDER BEAMS ABOVE

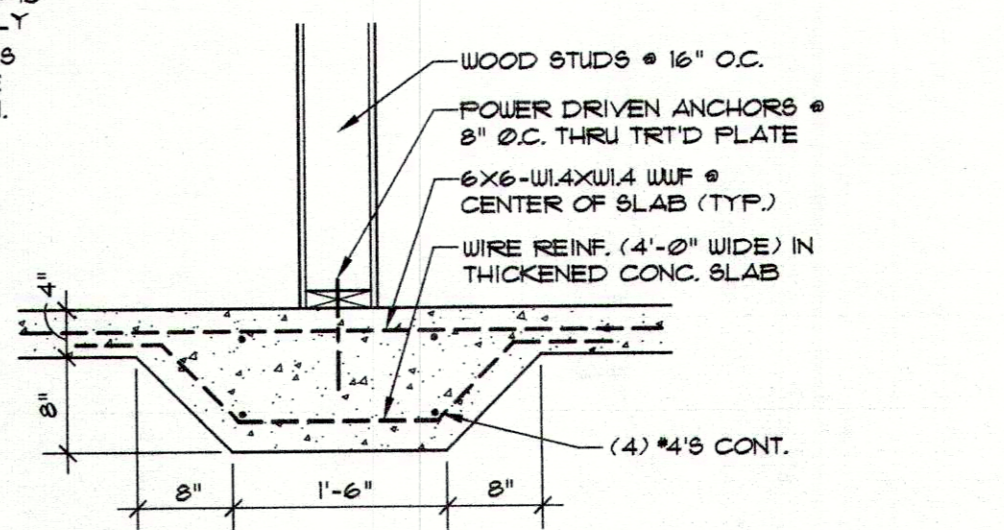


**DETAIL AT THICKENED SLAB**  
3/4" = 1'-0"



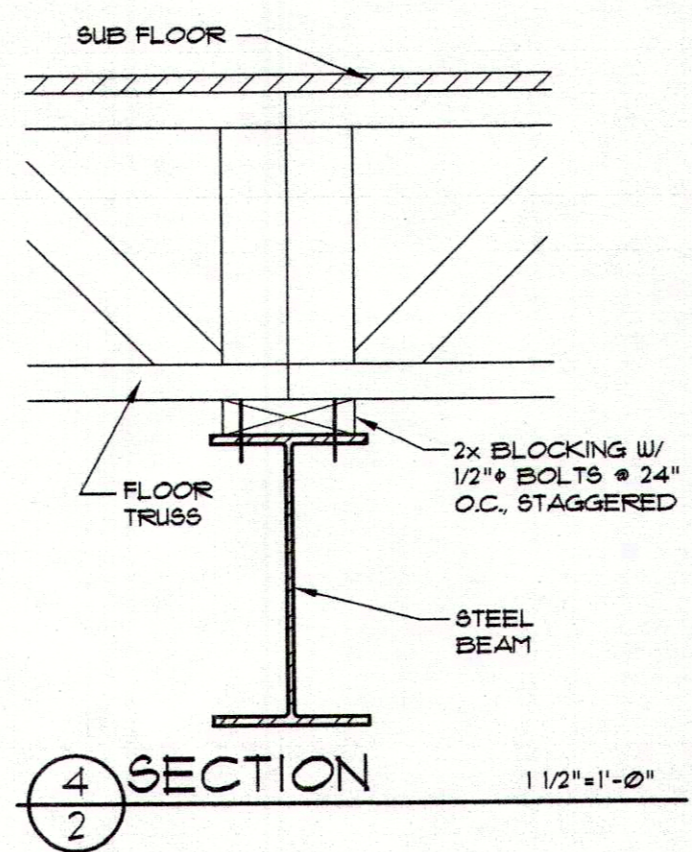
**SECTION 2**  
3/4" = 1'-0"  
SEE OTHER WALL SECTIONS FOR ADDITIONAL INFORMATION

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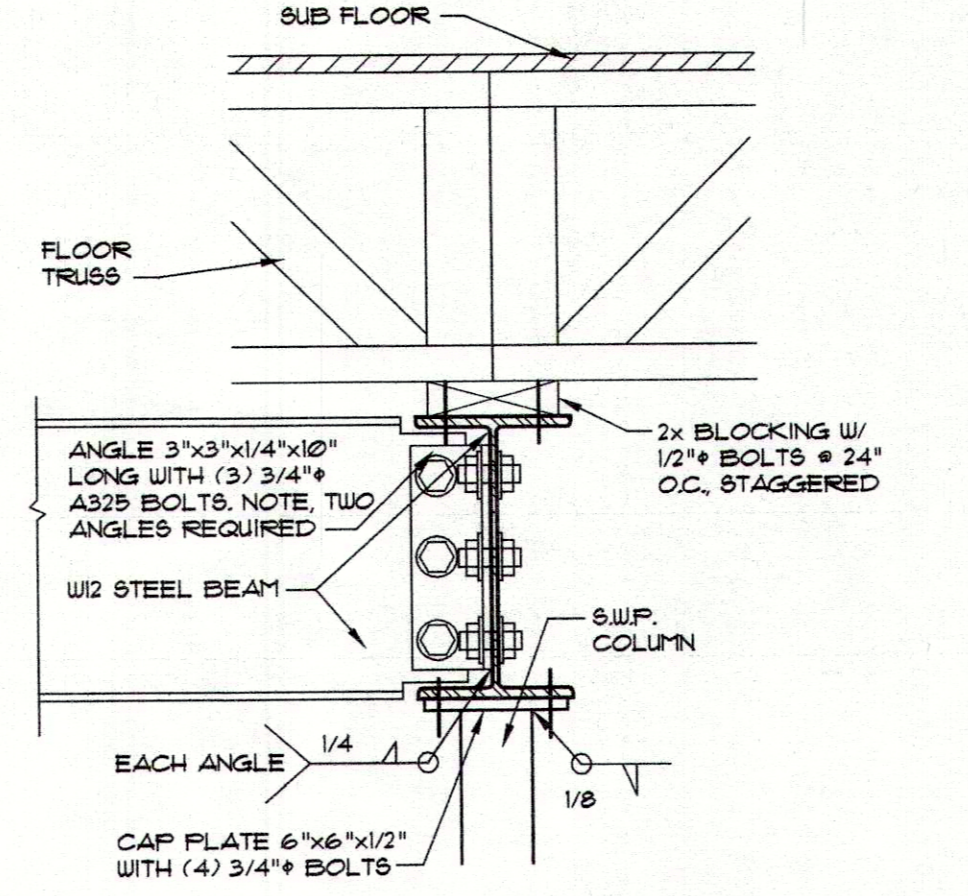


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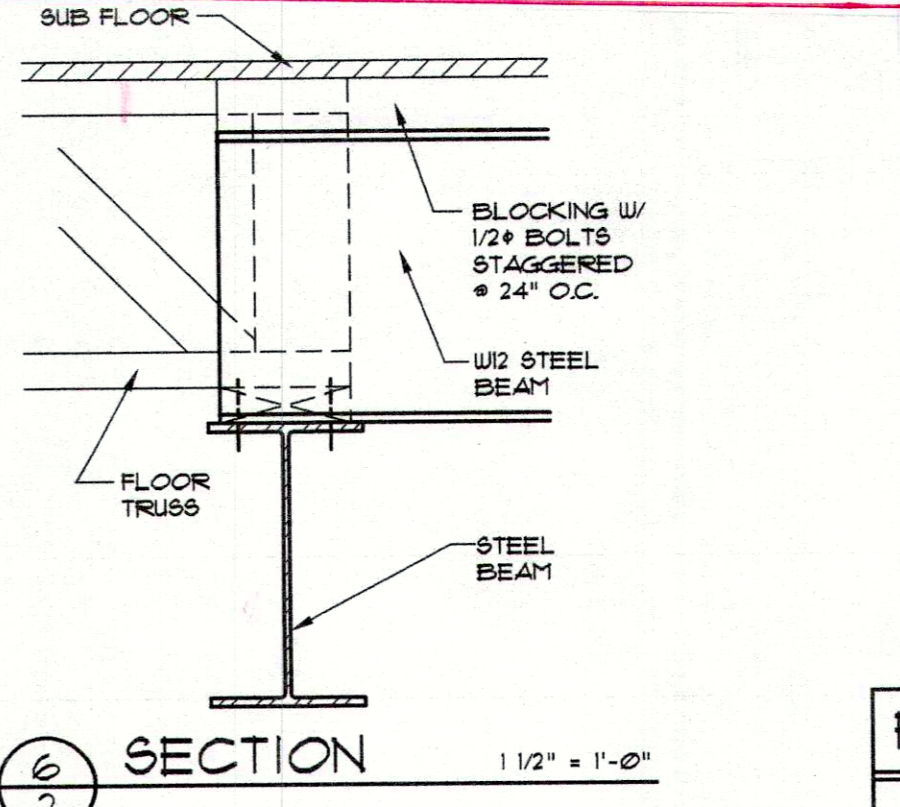
**GENERAL MECHANICAL SYSTEMS REQUIREMENTS**  
M305.1 APPLIANCES IN ROOMS: Appliances installed in a compartment, alcove, basement or similar space shall be accessed by an opening or door and an unobstructed passageway measuring not less than 24 inches wide and large enough to allow removal of the largest appliance in the space, provided there is a level service space of not less than 30 inches deep and the height of the appliance but not less than 30 inches, at the front or service side of the appliance with the door open.



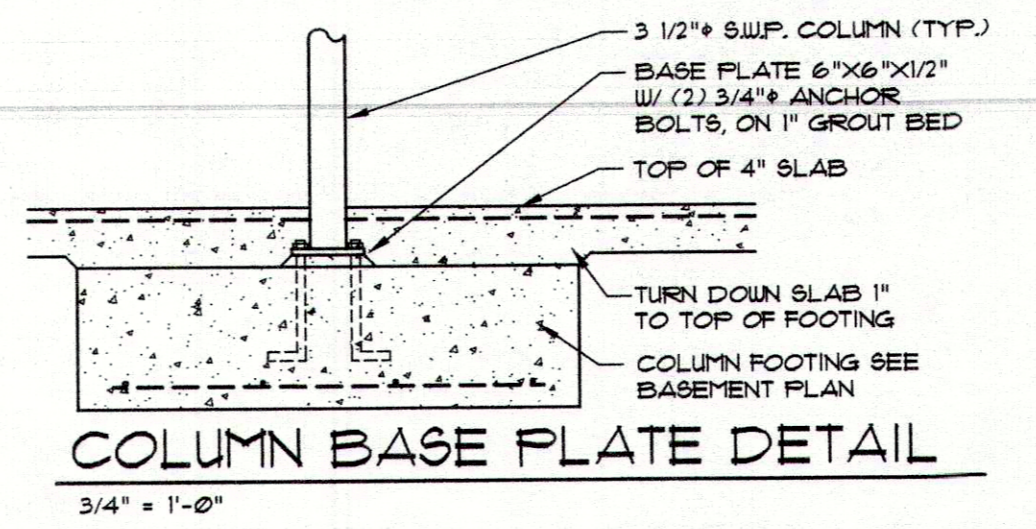
**SECTION 4**  
1 1/2" = 1'-0"



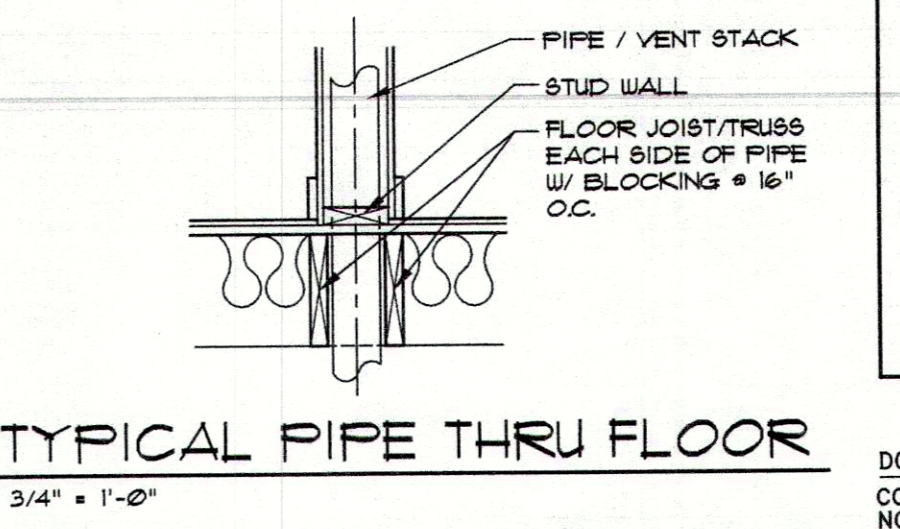
**SECTION 5**  
1-1/2" = 1'-0"



**SECTION 6**  
1 1/2" = 1'-0"



**COLUMN BASE PLATE DETAIL**  
3/4" = 1'-0"

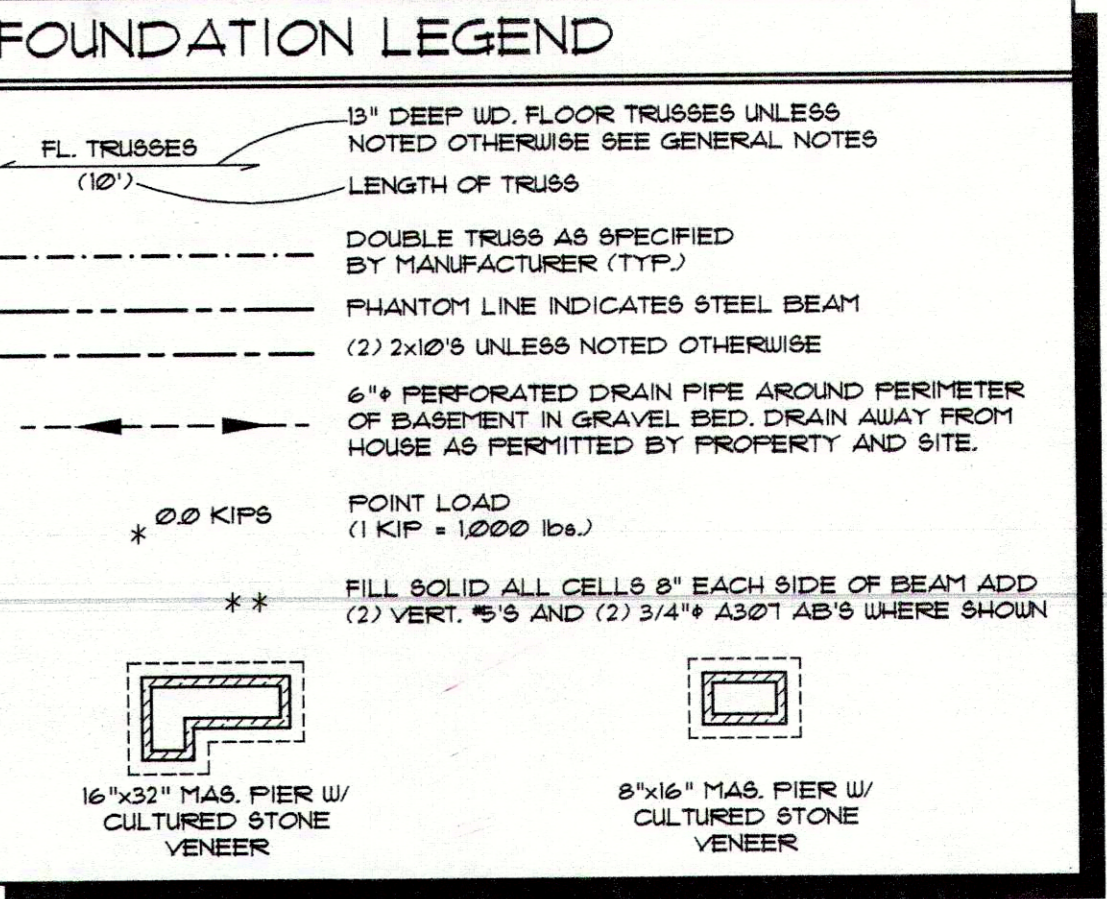


**TYPICAL PIPE THRU FLOOR**  
3/4" = 1'-0"

**GENERAL NOTES**

- A. GENERAL:**
- AT THE TIME OF CREATION, PLANS CONFORM TO "CABO ONE AND TWO FAMILY DWELLING CODE," OR THE "INTERNATIONAL RESIDENTIAL CODE." HOWEVER MODIFICATIONS MAY BE NECESSARY TO COMPLY WITH LOCAL AND STATE CODES.
  - CONTRACTOR SHALL VERIFY ALL DIMENSIONS. CONTRACTOR SHALL COMPLY WITH THE CONTENTS OF THE SPECIFICATIONS FOR THIS HOUSE.
  - ALL WOOD USED IN CONSTRUCTION OF DECKS AND STEPS SHALL BE TREATED. FASTENERS FOR TREATED WOOD (NAILS, BOLTS, HARDWARE, ETC.) SHALL BE GALVANIZED.
  - CONTRACTOR SHALL INSTALL GROUND FAULT INTERRUPT OUTLETS AS PER CODE.
  - INSTALL ROOFING MATERIALS ACCORDING TO MANUFACTURER'S RECOMMENDATIONS FOR THE AREA AND CLIMATE, INCLUDING BUT NOT LIMITED TO SHINGLES, TILES, FELTS, FLASHING, AND FASTENING DEVICES HEARTH DIMENSIONS DETERMINED BY CODE.
  - INSTALL ALL EXTERIOR FINISH MATERIALS PER MANUFACTURER'S RECOMMENDATIONS (I.E. CONTROL JOINTS, ATTACHMENT/ANCHORING DEVICES, FLASHING, SEALANTS, ETC.)
- B. FRAMING:**
- UNLESS NOTED OTHERWISE FLOOR FRAMING SHALL CONSIST OF NOMINAL 13" DEEP WOOD FLOOR TRUSSES.
  - FLOOR TRUSS SYSTEM SHALL BE DESIGNED AND ENGINEERED BY TRUSS MANUFACTURER AND COMPLETE INSTALLATION DETAILS SHALL BE PROVIDED.
  - COORDINATE ACTUAL FLOOR TRUSS DIMENSIONS WITH THE SELECTED TRUSS MANUFACTURER.
  - PROVIDE BLOCKING BETWEEN FLOOR TRUSSES UNDER WALLS THAT ARE PERPENDICULAR TO FLOOR TRUSSES.
  - JOIST SPANS WERE DETERMINED ON THE BASIS OF THE ALLOWABLE STRESSES IN THE "1991" GRADING RULES OF THE SOUTHERN PINE INSPECTION BUREAU GRADE NUMBER TWO (2) KILN DRIED.
  - PROVIDE DOUBLE JOISTS BELOW ALL PARALLEL PARTITIONS, ABOVE AND AROUND ALL OPENINGS NOT INDICATED ON DRAWINGS.
  - PROVIDE SOLID BLOCKING BETWEEN FLOOR JOISTS UNDER WALLS THAT ARE PERPENDICULAR TO FLOOR JOISTS.
  - WEATH ALL EXTERIOR WALLS WITH NOMINAL 1/2" STRUCTURAL GRADE 2 FLYWOOD OR NOMINAL 1/2" OSB (ORIENTED STRAND BOARD).
- C. VENTILATION:**
- PROVIDE CONTINUOUS RIDGE VENTS ON ALL ROOFS. LOCATE DOUBLE RIDGE BEAMS TO ALLOW FOR PROPER INSTALLATION OF RIDGE VENTS.
  - PROVIDE CONTINUOUS ROOF TO WALL VENTS AT ALL JUNCTURES OF SLOPED ROOFS AND VERTICAL WALLS.
- D. FOOTINGS:**
- CARRY ALL FOOTINGS TO FIRM UNDISTURBED BEARING:
    - 16" x 12" FOOTING FOR 8" OR 9" FOUNDATION WALL WITH (2) #4 REIN. RODS CONTINUOUS
    - 24" x 12" FOOTING FOR 12" FOUNDATION WALL WITH (2) #4 REIN. RODS CONTINUOUS.
- E. PIER FOOTINGS:**
- PIER FOOTINGS (TYPICAL UNLESS NOTED OTHERWISE)
- PROVIDE 1'-8" x 2'-4" x 1'-0" DEEP CONCRETE FOOTING WITH (3) #4 REIN. RODS EACH WAY UNDER 8" x 16" MASONRY PIERS.
  - PROVIDE 2'-4" x 3'-8" x 1'-0" DEEP CONCRETE FOOTING WITH (3) #4 REIN. RODS EACH WAY UNDER 16" x 32" MASONRY PIERS.
  - FILL PIERS SOLID WITH 2,500 P.S.I. CONCRETE, TYPICAL.
  - HEIGHT OF PIERS:
    - PIERS LESS THAN 36" IN HEIGHT MAY BE 8" x 16" OR AS NOTED ON FOUNDATION PLAN.
    - PIERS BETWEEN 36" AND 80" IN HEIGHT SHALL BE A MINIMUM OF 16" x 16".
    - PIERS GREATER THAN 80" IN HEIGHT SHALL BE A MINIMUM OF 16" x 16" WITH (4) CONTINUOUS #5 BARS.
- F. CHIMNEY CONSTRUCTION:**
- USE NOMINAL 1/2" STRUCTURAL GRADE 2 FLYWOOD OR NOMINAL 1/2" OSB (ORIENTED STRAND BOARD) SHEATHING.
  - SPlice ONLY ONE CORNER STUD AT ANY SPlice. STAGGER SPlices AT LEAST 3'-0" AND USE (4) STUDS PER CORNER.
  - USE 16d NAILS #4" O.C. AROUND ALL FLYWOOD EDGES AND 12" O.C. AT ALL INTERMEDIATE SUPPORTS.
  - PROVIDE BLOCKING BETWEEN STUDS AT 4'-0" INTERVALS.
  - CONTRACTOR TO VERIFY CHIMNEY FINISH MATERIAL WITH OWNER PRIOR TO CONSTRUCTION. IF BRICK MASONRY IS REQUIRED, CONTRACTOR TO MODIFY CONSTRUCTION OF FIREPLACE AND CHIMNEY AS REQUIRED.
- G. BASEMENT:**
- BASEMENT WALL CONSTRUCTION SHALL BE REINFORCED MASONRY OR REINFORCED CONCRETE, AS REQUIRED BY LOCAL CODES.
  - FOR ELECTRICAL LEGEND, SEE SHEET #3.

**INTERNATIONAL MECHANICAL CODE**  
501.3 EXHAUST DISCHARGE: The air removed by every mechanical exhaust system shall be discharged outdoors at a point where it will not cause a public nuisance and not less than the distance specified in Section 501.3.1. The air shall be discharged to a location from which it cannot again be readily drawn in by a ventilating system. Air shall not be exhausted in an attic.



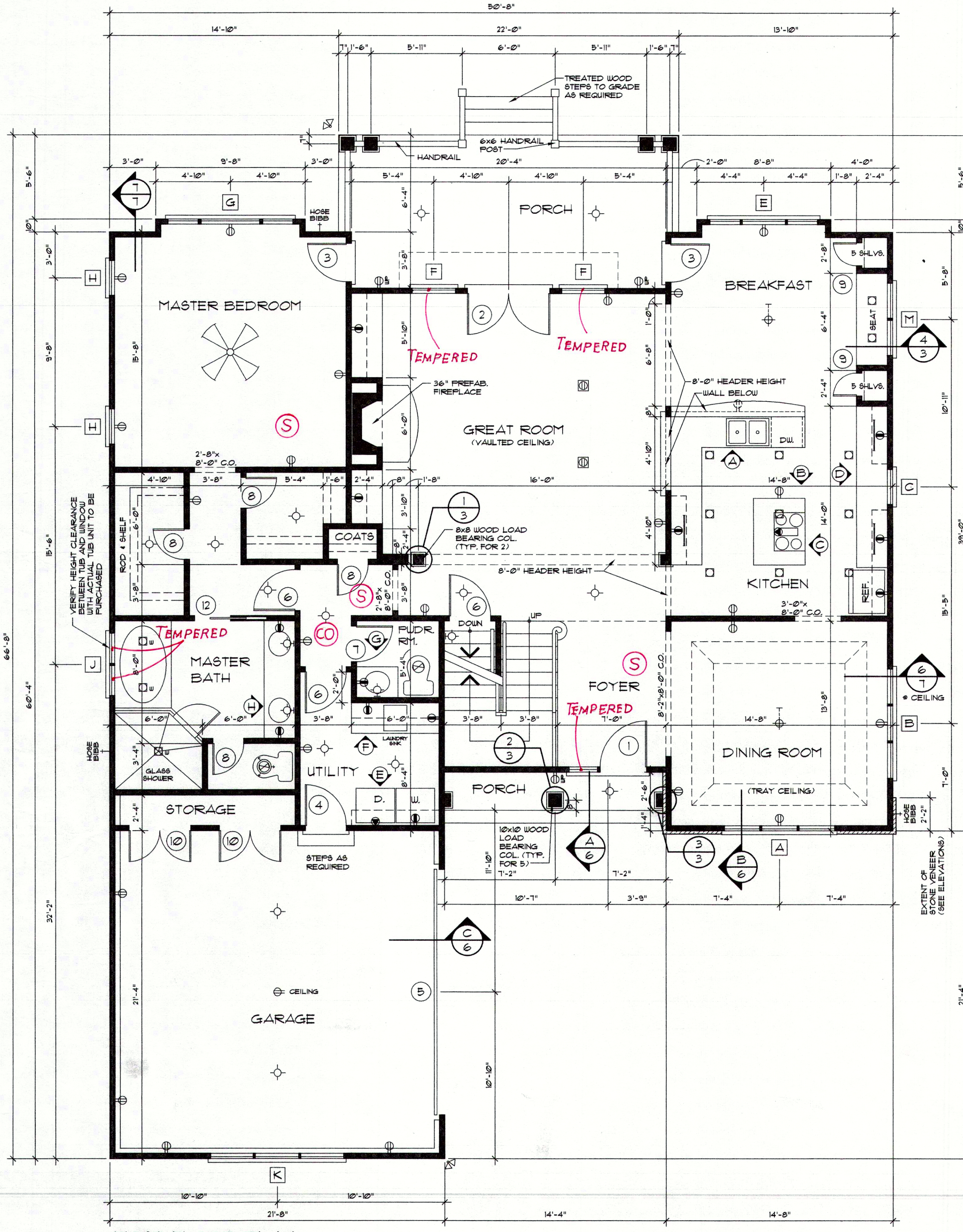
**FOUNDATION LEGEND**

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DESIGN NO. 994-A  
SHEET OF 8 CJ  
FOUNDATION PLAN



FIRST FLOOR PLAN 1/4" = 1'-0"

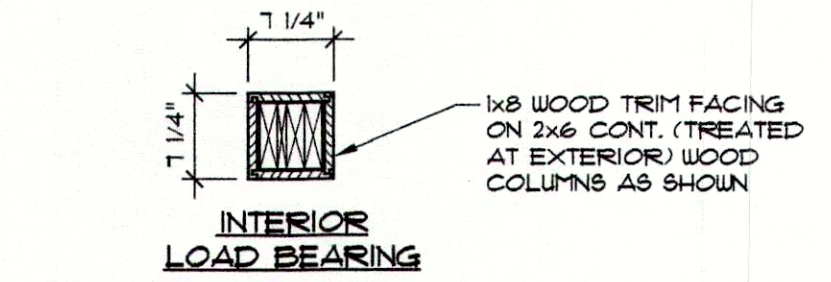
FIRST FLOOR	1834 sq. ft.
SECOND FLOOR	681 sq. ft.
TOTAL LIVING	2515 sq. ft.
GARAGE & STORAGE	490 sq. ft.
BONUS ROOM	365 sq. ft.
BASEMENT	1825 sq. ft.

DOOR SCHEDULE				SYMBOL
MARK	SIZE	QUAN.	DESCRIPTION	
1	3'-0" x 6'-8"	1	EXT. TWO PANEL W/ 22" SIDELITE & ARCH HEAD TRANSOM *	
2	(2) 2'-8" x 6'-8"	1	EXT. FULL GLASS W/ 12" TRANSOM	
3	2'-6" x 6'-8"	2	EXT. FULL GLASS W/ 12" TRANSOM	
4	2'-8" x 6'-8"	1	EXT. 1 HOUR FIRE-RATED	
5	16'-0" x 7'-0"	1	GARAGE	
6	2'-8" x 6'-8"	6	INT.	
7	2'-4" x 6'-8"	3	INT.	
8	2'-0" x 6'-8"	4	INT.	
9	1'-6" x 6'-8"	2	INT.	
10	(2) 2'-0" x 6'-8"	3	INT.	
11	3'-0" x 6'-8"	4	INT. BIFOLD	
12	2'-4" x 6'-8"	1	INT. POCKET DOOR	

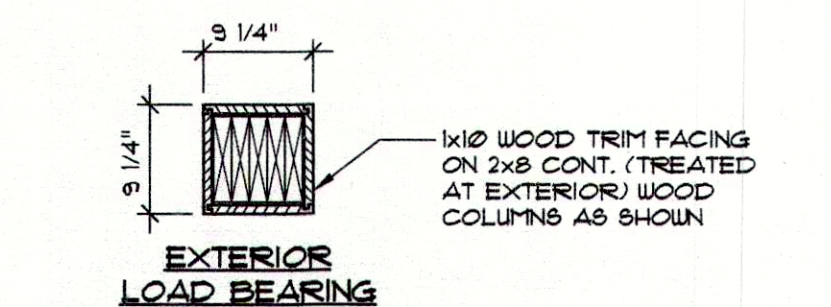
\* SEE ELEVATION FOR TRANSOM.

WINDOW SCHEDULE				SYMBOL
MARK	SIZE	QUAN.	DESCRIPTION	
A	(3) 2'-5" x 5'-5"	1	CASEMENT, CENTER FIXED # 8" ARCH HEAD TRANSOM *	
B	(2) 2'-5" x 3'-5"	1	CASEMENT, CENTER FIXED	
C	2'-5" x 3'-11"	1	CASEMENT	
D	(2) 2'-1" x 3'-11"	1	CASEMENT	
E	2'-11" x 6'-1"	1	CASEMENT, FIXED	
F	2'-11" x 6'-1"	1	CASEMENT	
G	2'-11" x 5'-5"	2	CASEMENT, FIXED W/ 12" TRANSOM *	
H	3'-11" x 6'-1"	1	CASEMENT, FIXED	
J	2'-11" x 6'-1"	1	CASEMENT	
K	(3) 2'-11" x 4'-11"	1	CASEMENT, CENTER FIXED	
L	2'-11" x 3'-5"	2	CASEMENT, FIXED	
M	(2) 2'-5" x 4'-11"	3	CASEMENT	
N	2'-11" x 2'-11"	2	CASEMENT, FIXED	
P	(2) 2'-11" x 2'-11"	1	CASEMENT, FIXED	
Q	2'-5" x 3'-11"	1	FIXED, ARCH HEAD *	
R	2'-11" x 3'-5"	1	CASEMENT	

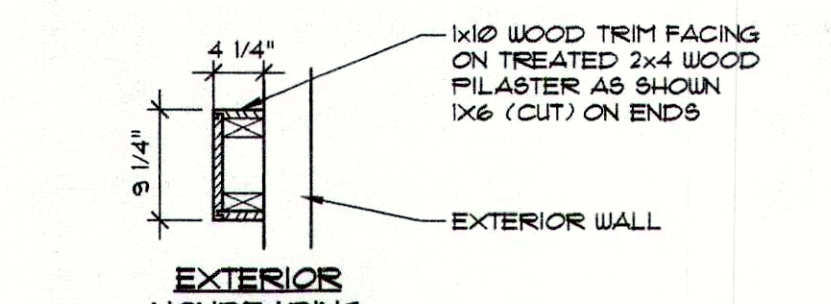
ALL WINDOWS ARE INSULATED AND WEATHERSTRIPPED. VERIFY LOCAL CODE EGRESS WINDOW REQUIREMENTS PRIOR TO CONSTRUCTION. WINDOW MANUFACTURER TO PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE. VERIFY WINDOW MODEL NUMBERS AND SIZES WITH MANUFACTURER BEFORE STARTING CONSTRUCTION. \* SEE ELEVATION FOR TRANSOM.



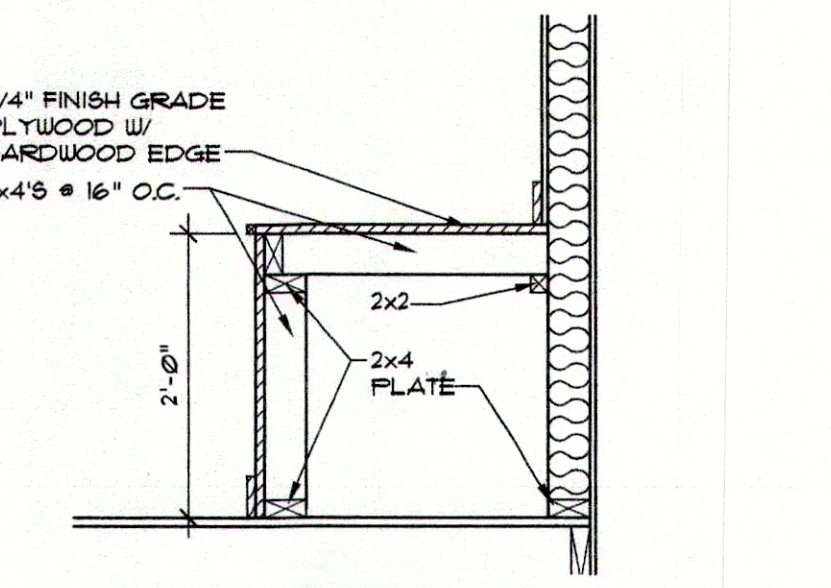
SECTION 1 3/4" = 1'-0"



SECTION 2 3/4" = 1'-0"



SECTION 3 3/4" = 1'-0"



SECTION 4 3/4" = 1'-0"

ALL WINDOWS SHALL HAVE MINIMUM CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET PER 2018 IRC, R10.2.1

ALL INTERIOR STAIRWAY ILLUMINATION SHALL COMPLY WITH 2018 IRC R303.7.

PLAN NOTES:

- VERIFY ALL LOCAL CODES, ENERGY TYPES, AND SITE CONDITIONS PRIOR TO CONSTRUCTION.
- REVIEW SELECTED MECHANICAL SYSTEMS WITH OWNER PRIOR TO CONSTRUCTION. REVIEW SUB-CONTRACTORS LOCATIONS OF THE WATER HEATER AND HVAC UNIT(S) WITH THE OWNER PRIOR TO CONSTRUCTION. VERIFY LOCAL BUILDING CODE REQUIREMENTS AND MANUFACTURER REQUIREMENTS FOR ATTIC, BASEMENT, OR GARAGE LOCATIONS. HVAC EQUIPMENT IN THE ATTIC SPACE SHALL BE ACCESSIBLE BY AN OPENING LARGER THAN THE LARGEST PIECE OF EQUIPMENT (TO ALLOW REMOVAL OF THE EQUIPMENT) AND IN NO CASE LESS THAN 22"x36".
- SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- INSULATE AROUND ALL BATHS AND UTILITY ROOM.
- TYPICAL WALL, 2x4'S @ 16" O.C., UNLESS OTHERWISE DIMENSIONED.
- PROVIDE SMOKE DETECTORS AS REQUIRED BY CODE.
- PROVIDE DOORBELLS, TRANSFORMER, AND CHIME.

ELECTRICAL LEGEND

SYMBOL	DESCRIPTION
⊕	DUPLEX OUTLET (GROUNDED TYPE)
⊕	WEATHER PROOF DUPLEX OUTLET ABOVE COUNTER LOCATION
⊕	FLUSH FLOOR DUPLEX OUTLET, OWNER VERIFY LOCATION
⊕	220 VOLT OUTLET OR CONNECTION
⊕	CEILING MOUNTED LIGHT FIXTURE
⊕	WALL BRACKET MOUNTED LIGHT FIXTURE
⊕	SUSPENDED CEILING MOUNTED LIGHT FIXTURE
⊕	RECESSED DIRECTIONAL CEILING LIGHT FIXTURE
⊕	RECESSED CEILING LIGHT FIXTURE
⊕	RECESSED LIGHT FOR LIET AREA
⊕	UNDER CABINET FLUORESCENT LIGHT
⊕	EXTERIOR CAST ALUMINUM FLOOD LIGHTS
⊕	CEILING MOUNTED PADDLE FAN W/ LIGHT
⊕	CEILING MOUNTED FAN - EXHAUST
⊕	CEILING MOUNTED FAN AND HEATER
⊕	CEILING MOUNTED FAN, LIGHT, AND HEATER

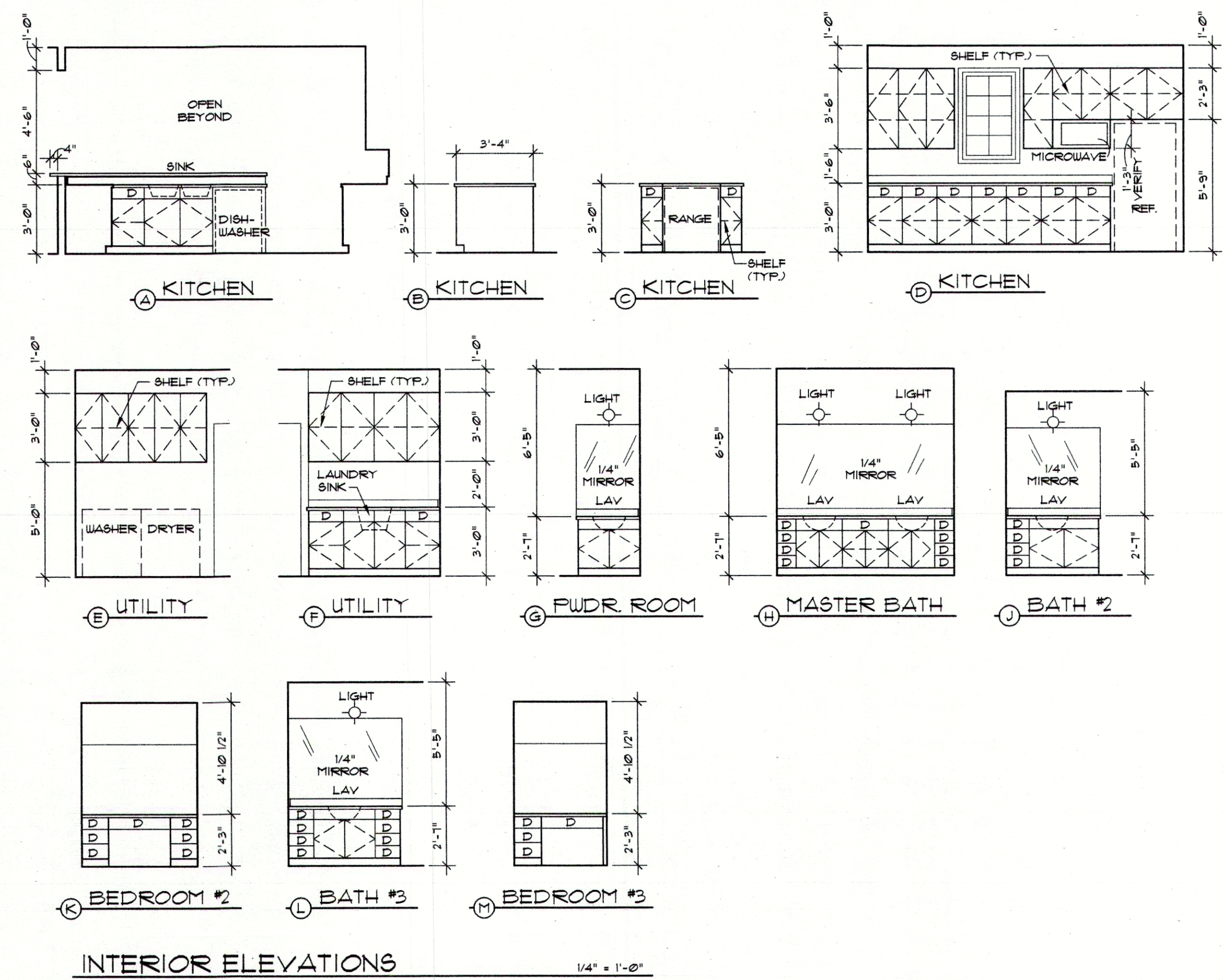
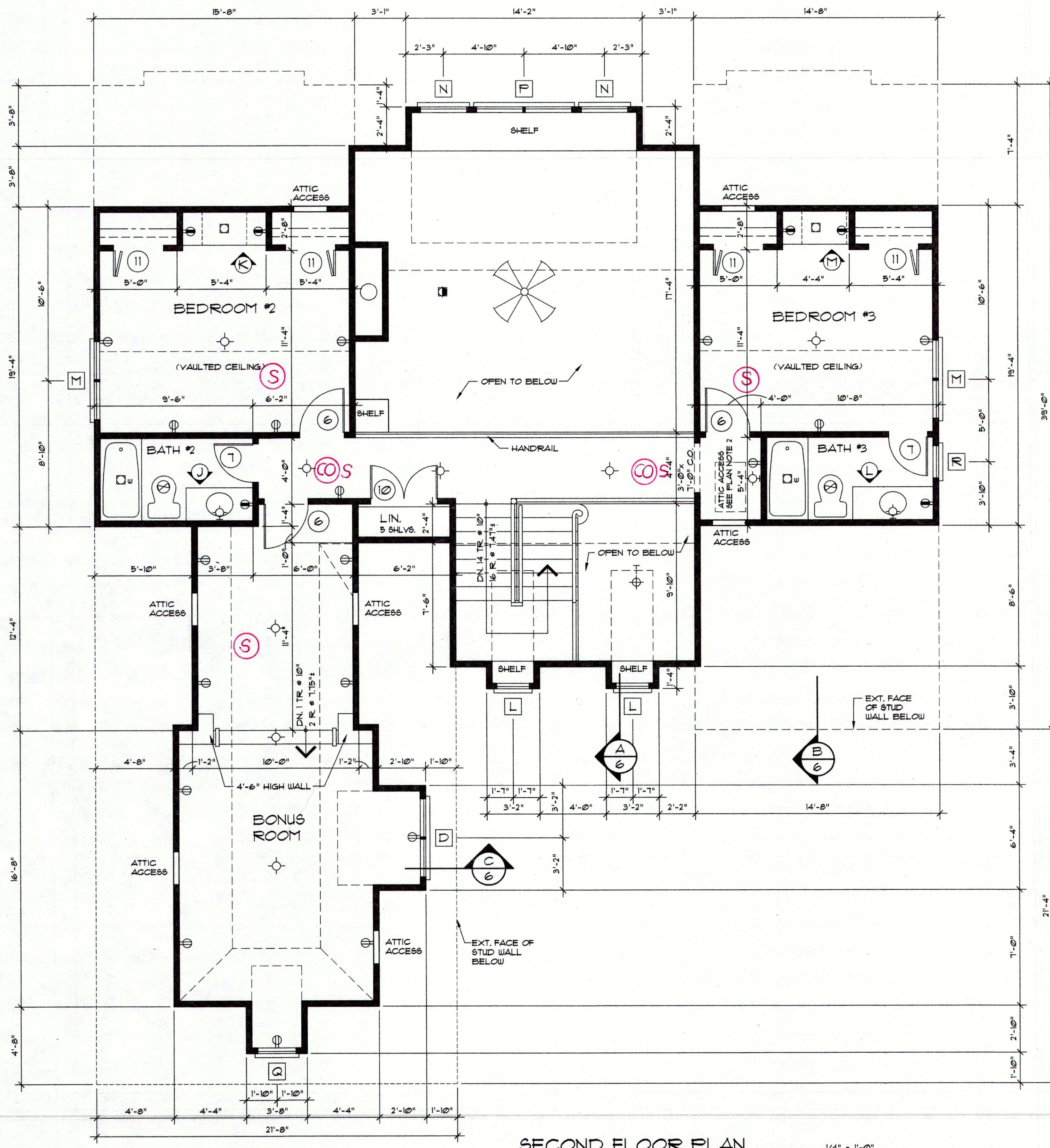
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DESIGN NO. 994-A  
SHEET OF 38  
DR. CJ  
FIRST FLOOR PLAN



**GENERAL MECHANICAL SYSTEM REQUIREMENTS:**  
M130.5.1.2 APPLIANCES IN ATTIC. Attics containing appliances shall be provided with an opening and a clear and unobstructed passageway large enough to allow removal of the largest appliance but not less than 30 inches high and 22 inches wide and not more than 20 feet long measured along the center line of the passageway from the opening to the appliance. The passageway shall have continuous solid flooring in accordance with Chapter 5 not less than 30 inches deep and 30 inches wide shall be present along all sides of the appliance where access is required. The clear access opening shall be not less than 20 inches by 30 inches and large enough to allow removal of the largest appliance.

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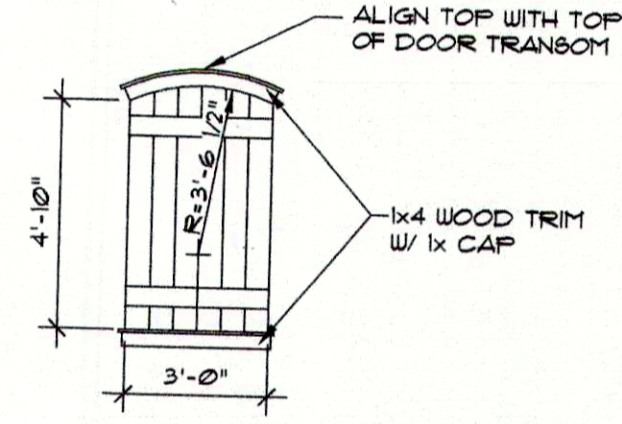
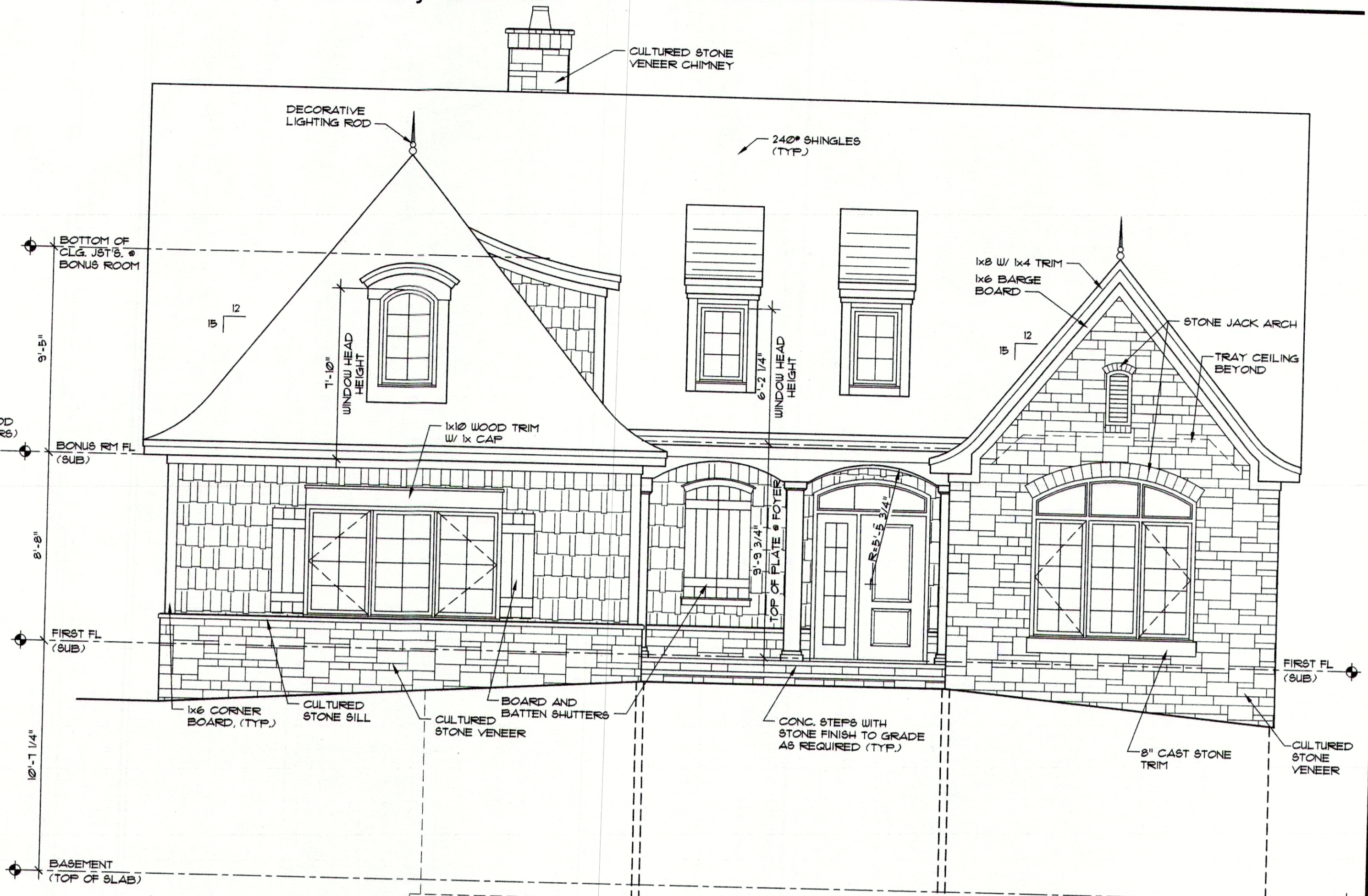
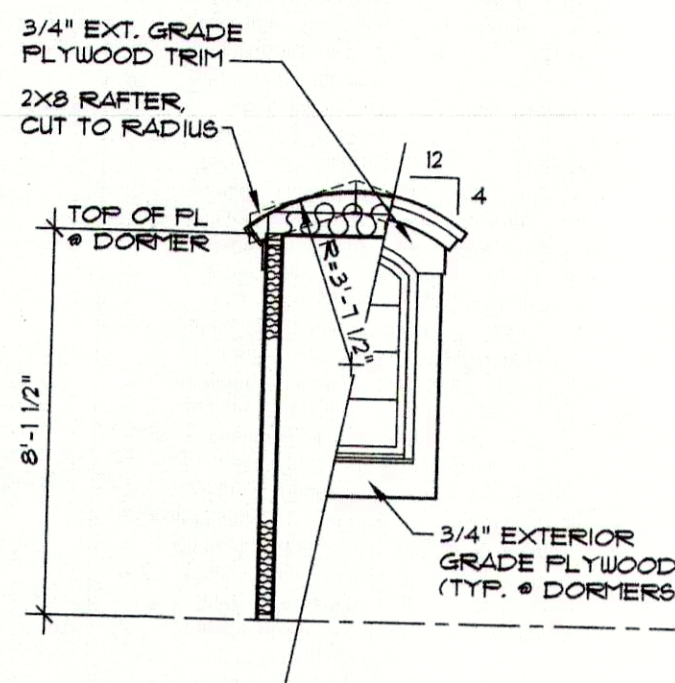
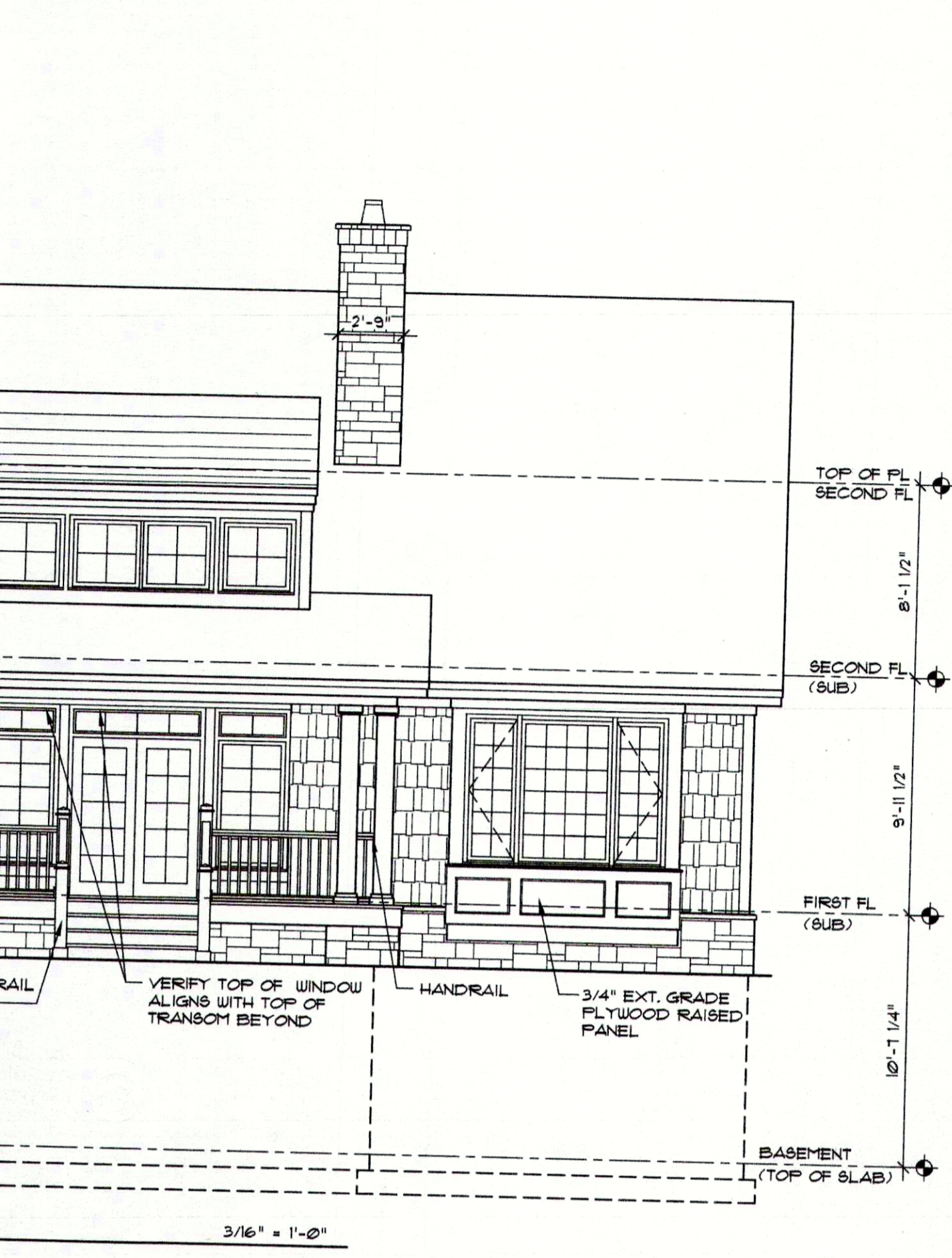
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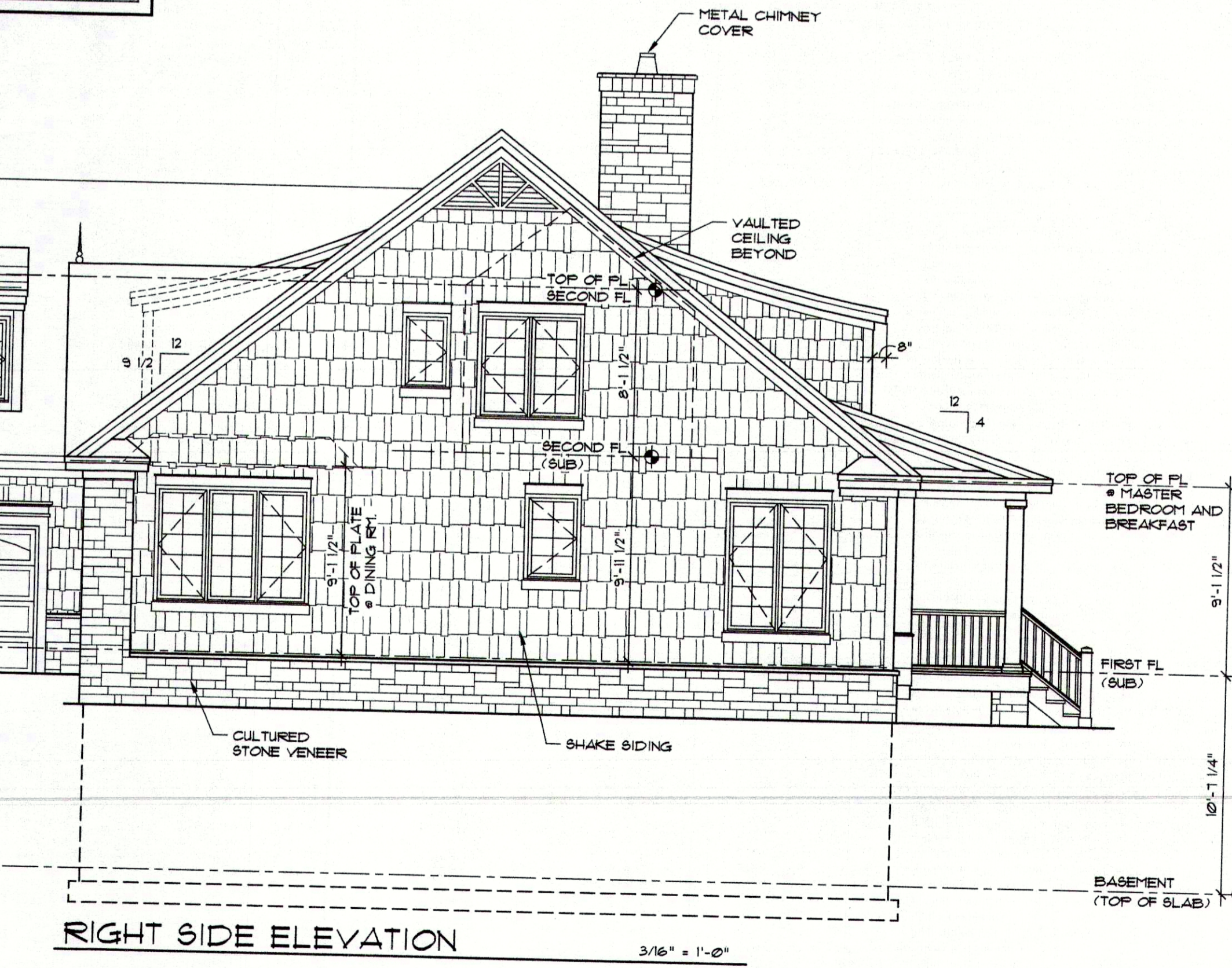
DESIGN NO. 994-A  
SHEET OF 48 DR CJ  
SECOND FLOOR PLAN

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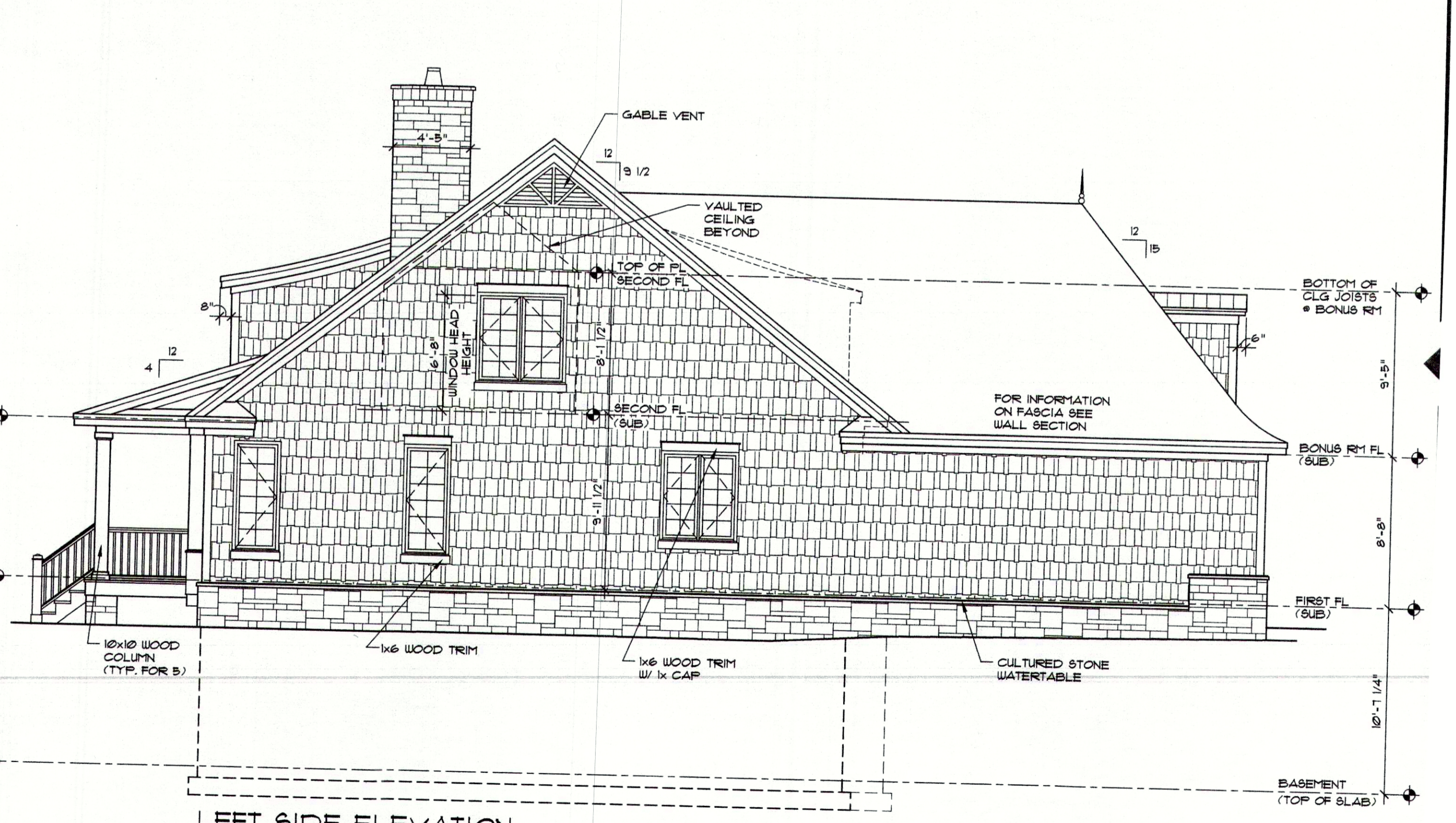


FRONT ELEVATION 1/4" = 1'-0"

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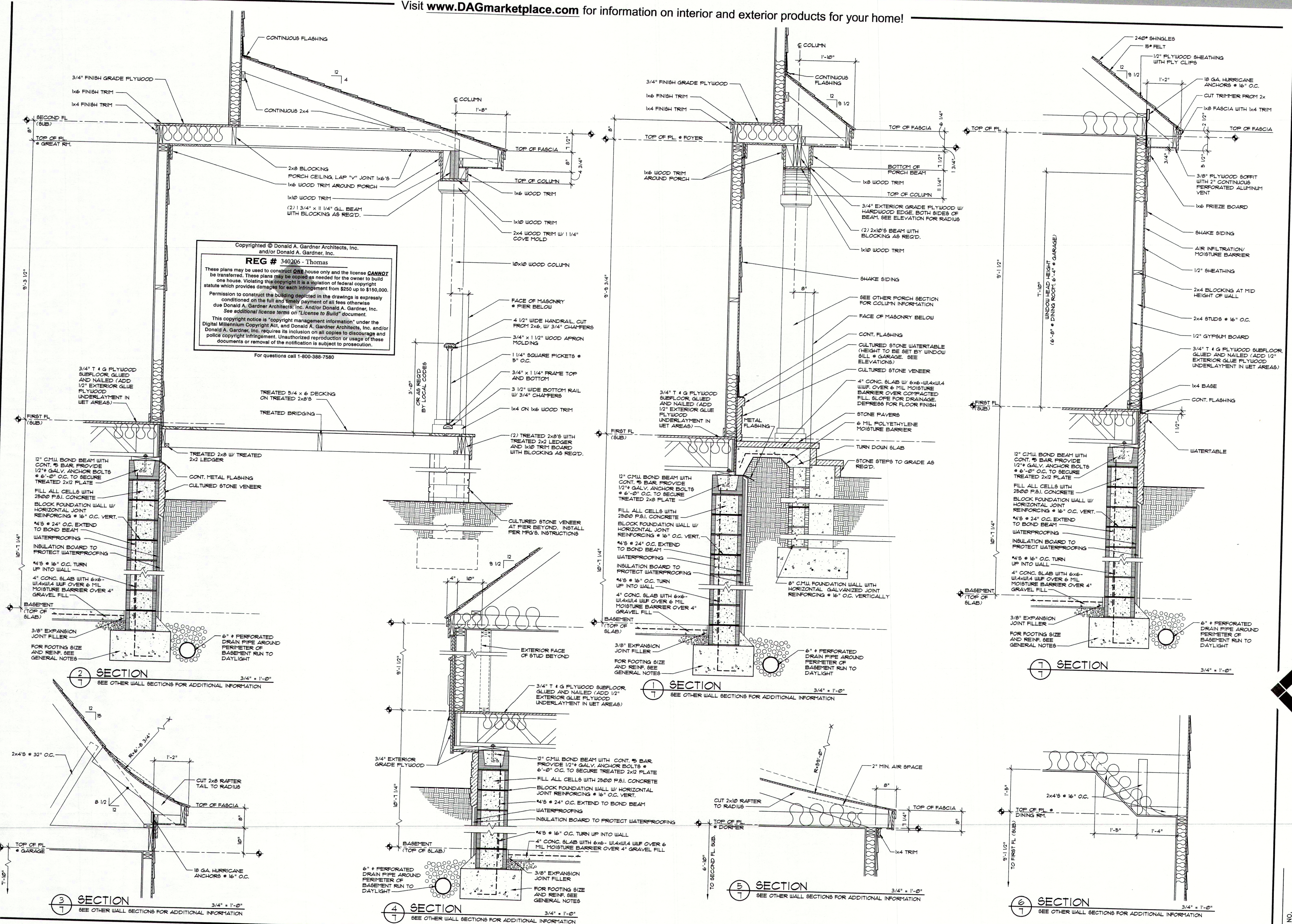
RIGHT SIDE ELEVATION 3/16" = 1'-0"



LEFT SIDE ELEVATION 3/16" = 1'-0"



Visit [www.DAGmarketplace.com](http://www.DAGmarketplace.com) for information on interior and exterior products for your home!

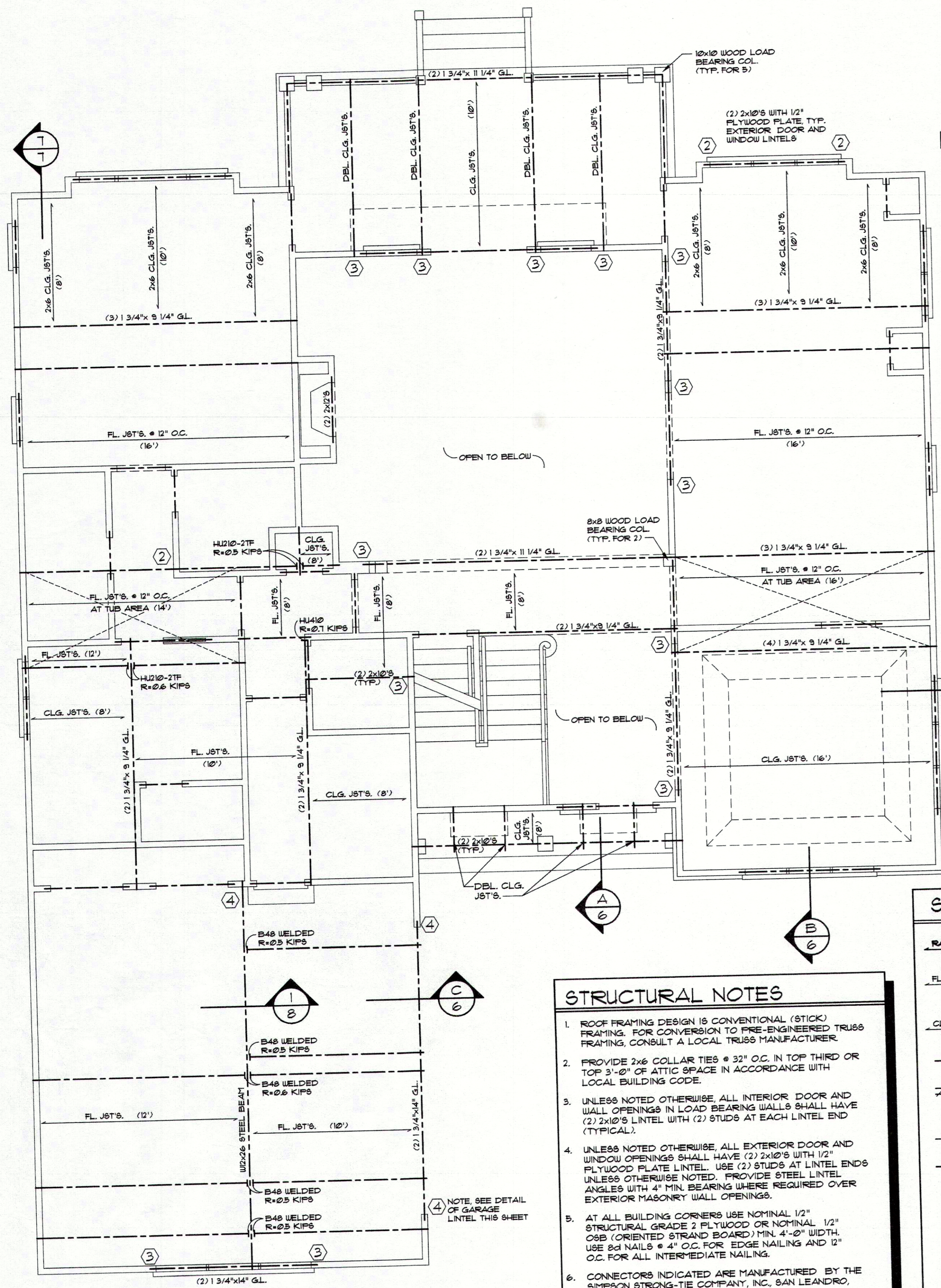


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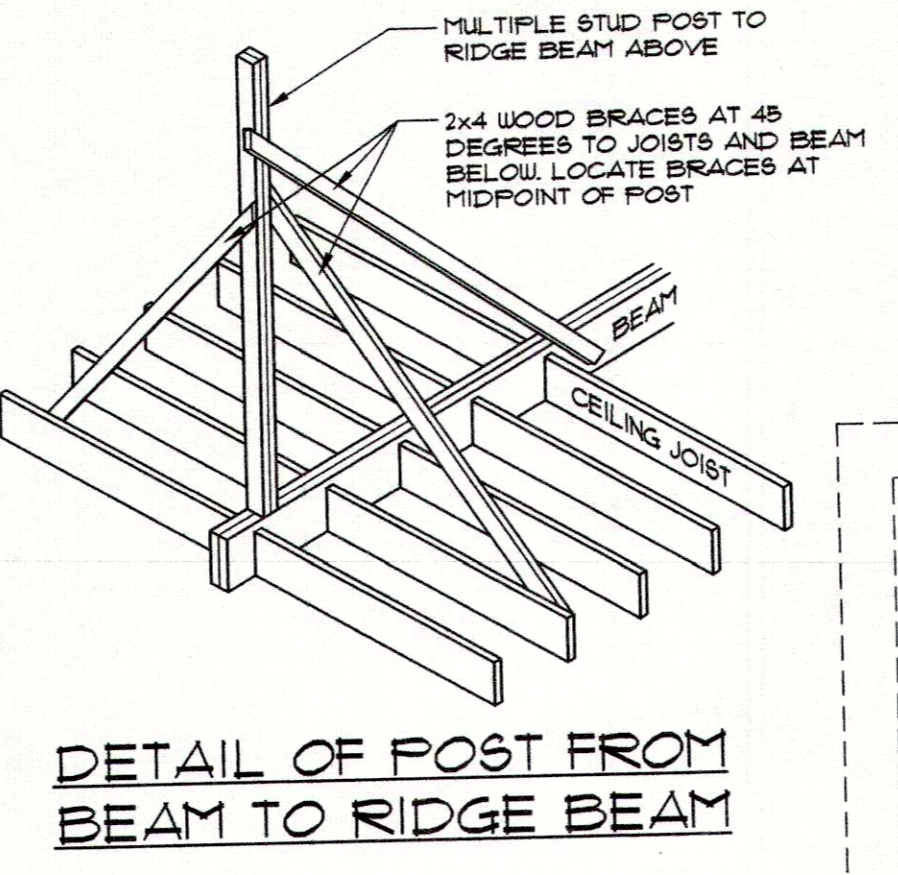
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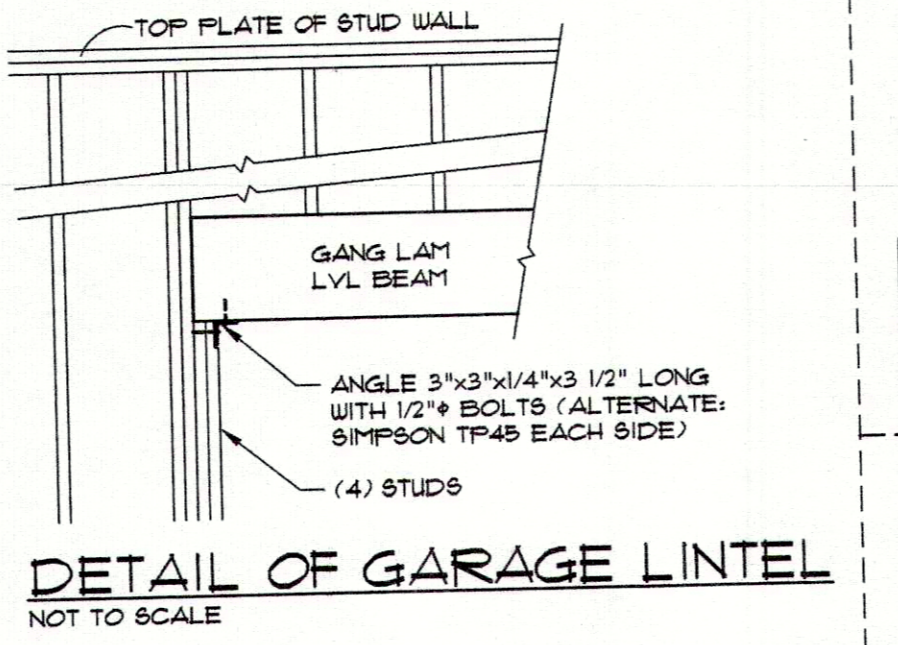
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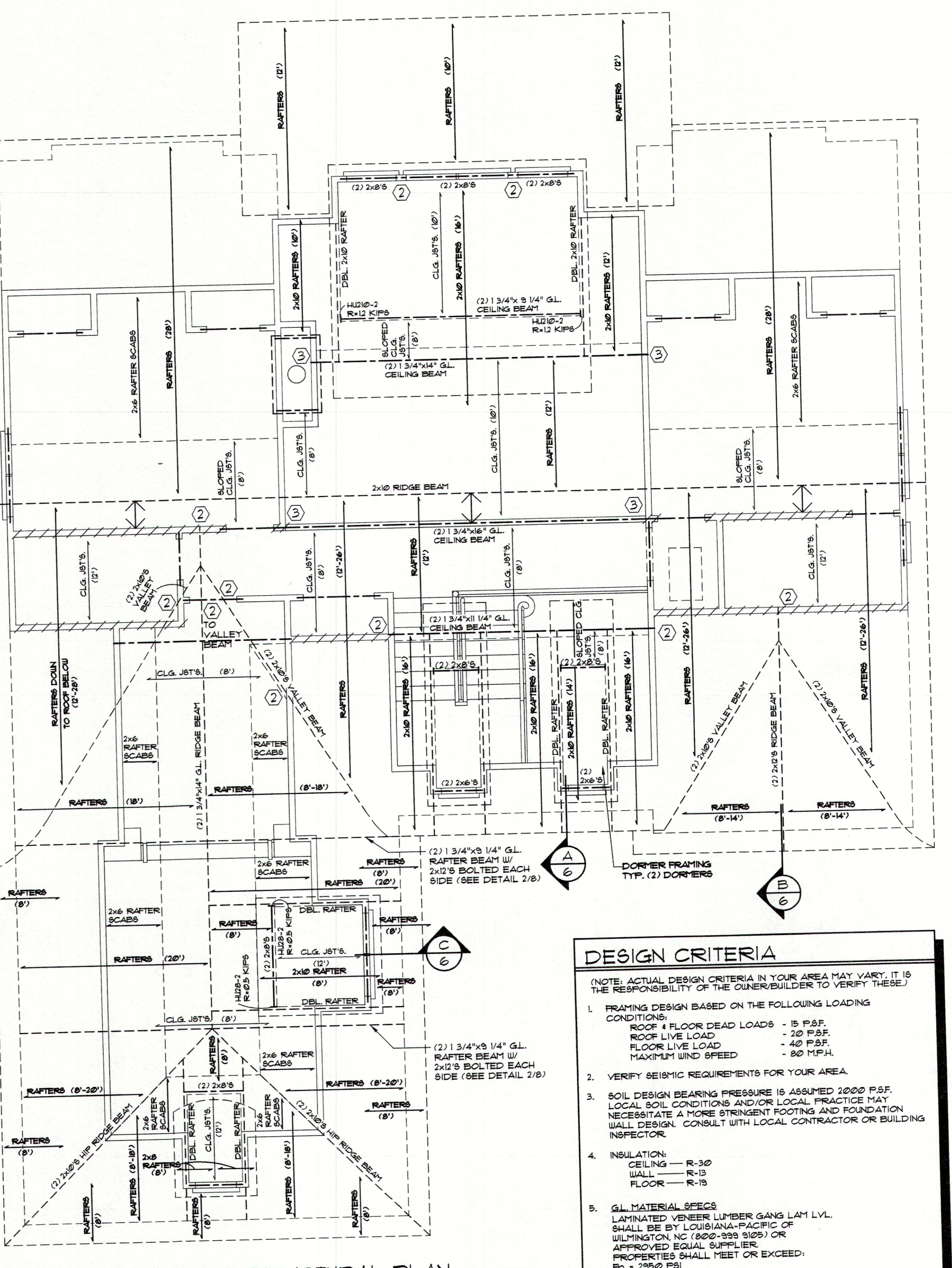
SECOND FLOOR STRUCTURAL PLAN 1/4" = 1'-0"



DETAIL OF POST FROM BEAM TO RIDGE BEAM



DETAIL OF GARAGE LINTEL NOT TO SCALE



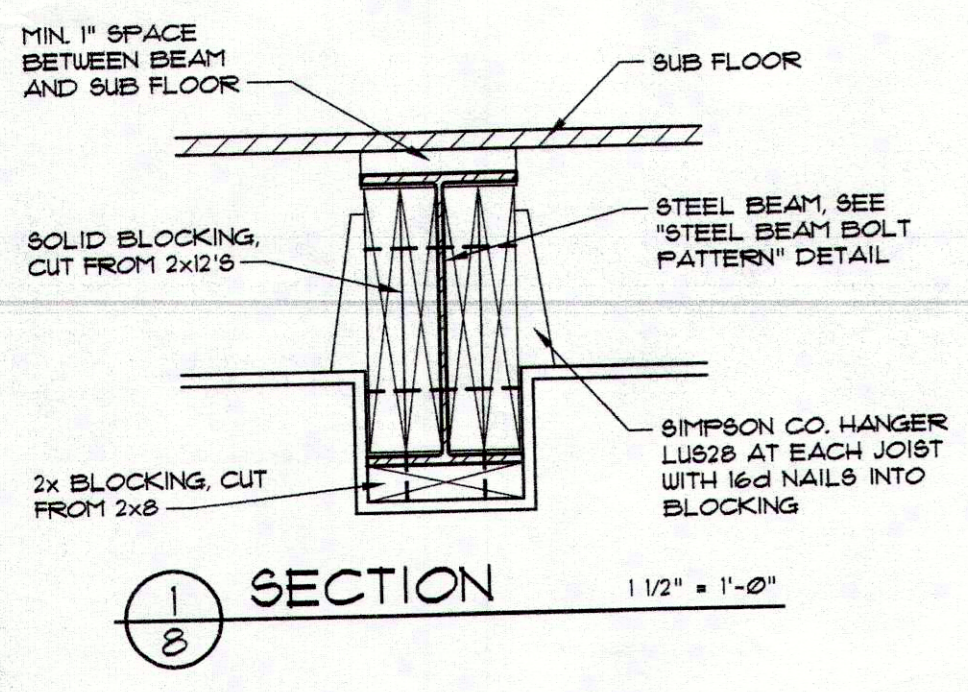
ROOF AND CEILING STRUCTURAL PLAN 1/4" = 1'-0"

- ### STRUCTURAL NOTES
- ROOF FRAMING DESIGN IS CONVENTIONAL (STICK) FRAMING. FOR CONVERSION TO PRE-ENGINEERED TRUSS FRAMING, CONSULT A LOCAL TRUSS MANUFACTURER.
  - PROVIDE 2x6 COLLAR TIES @ 32" O.C. IN TOP THIRD OR TOP 3'-0" OF ATTIC SPACE IN ACCORDANCE WITH LOCAL BUILDING CODE.
  - UNLESS NOTED OTHERWISE, ALL INTERIOR DOOR AND WALL OPENINGS IN LOAD BEARING WALLS SHALL HAVE (2) 2x12'S LINTEL WITH (2) STUDS AT EACH LINTEL END (TYPICAL).
  - UNLESS NOTED OTHERWISE, ALL EXTERIOR DOOR AND WINDOW OPENINGS SHALL HAVE (2) 2x12'S WITH 1/2" PLYWOOD PLATE LINTEL. USE (2) STUDS AT LINTEL ENDS UNLESS OTHERWISE NOTED. PROVIDE STEEL LINTEL ANGLES WITH 4" MIN. BEARING WHERE REQUIRED OVER EXTERIOR MASONRY WALL OPENINGS.
  - AT ALL BUILDING CORNERS USE NOMINAL 1/2" STRUCTURAL GRADE 2 PLYWOOD OR NOMINAL 1/2" OSB (ORIENTED STRAND BOARD) MIN. 4'-0" WIDTH, USE 8d NAILS @ 4" O.C. FOR EDGE NAILING AND 12" O.C. FOR ALL INTERMEDIATE NAILING.
  - CONNECTORS INDICATED ARE MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY, INC. SAN LEANDRO, CALIFORNIA 94511 (800-999-5099).

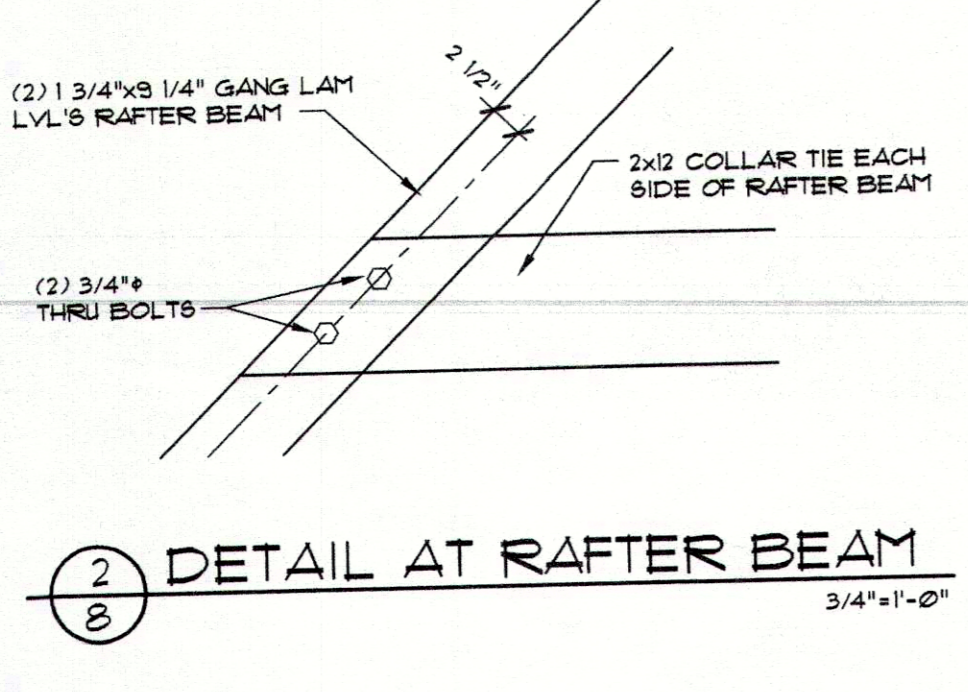
### STRUCTURAL LEGEND

RAFTERS (X)	RAFTERS, 2x6'S @ 16" O.C. UNLESS NOTED OTHERWISE
FL. JST'S. (X)	FLOOR JOISTS, 2x10'S @ 16" O.C. WITH BRIDGING UNLESS NOTED OTHERWISE
CLG. JST'S. (X)	CEILING JOISTS, 2x8'S @ 16" O.C. UNLESS NOTED OTHERWISE
---	PHANTOM LINE INDICATES STEEL BEAM
	THIS SYMBOL INDICATES LOAD BEARING INTERIOR WALLS. ALL EXTERIOR WALLS ARE LOAD BEARING
- - - -	DASH LINE INDICATES ROOF FRAMING
—	CENTER LINE INDICATES (2) 2x12'S BEAM BELOW ROOF UNLESS NOTED OTHERWISE. (SEE STUD NOTE (3) BELOW)
Ⓝ	INDICATES THE NUMBER OF STUDS UNDER BEAM ABOVE. NOTE: IF NUMBER OF STUDS AT BEAM ENDS ARE NOT INDICATED, USE (2) STUDS
↔	BRACE ROOF TO WALL OR BEAM BELOW WITH 2x4'S @ 32" O.C.

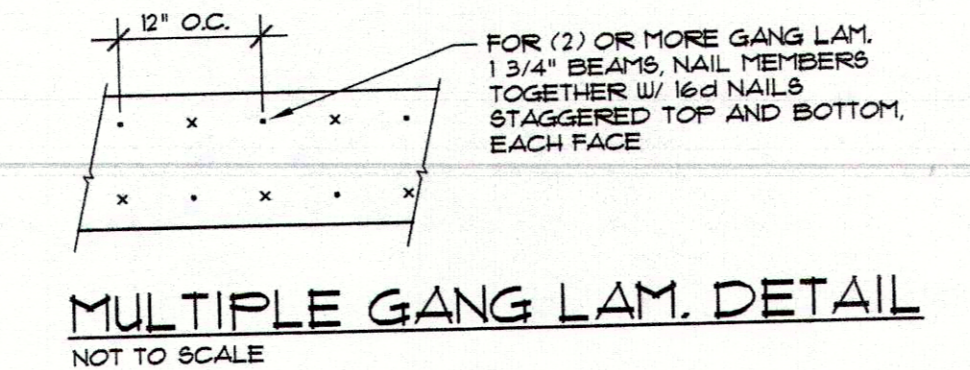
- ### DESIGN CRITERIA
- (NOTE: ACTUAL DESIGN CRITERIA IN YOUR AREA MAY VARY. IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO VERIFY THESE.)
- FRAMING DESIGN BASED ON THE FOLLOWING LOADING CONDITIONS:  
 ROOF LIVE LOAD - 15 P.S.F.  
 ROOF DEAD LOAD - 20 P.S.F.  
 FLOOR LIVE LOAD - 40 P.S.F.  
 MAXIMUM WIND SPEED - 80 M.P.H.
  - VERIFY SEISMIC REQUIREMENTS FOR YOUR AREA.
  - SOIL DESIGN BEARING PRESSURE IS ASSUMED 2000 P.S.F. LOCAL SOIL CONDITIONS AND/OR LOCAL PRACTICE MAY NECESSITATE A MORE STRINGENT FOOTING AND FOUNDATION WALL DESIGN. CONSULT WITH LOCAL CONTRACTOR OR BUILDING INSPECTOR.
  - INSULATION:  
 CEILING - R-30  
 WALL - R-13  
 FLOOR - R-19
  - GL MATERIAL SPECS  
 LAMINATED VENEER LUMBER GANG LAM LVL SHALL BE BY LOUISIANA-PACIFIC OR WILMINGTON, NC (800-888-5125) OR APPROVED EQUAL SUPPLIER. PROPERTIES SHALL MEET OR EXCEED:  
 F<sub>b</sub> = 2350 PSI  
 F<sub>v</sub> = 2350 PSI  
 E = 2,000,000 PSI  
 GANG LAM 18" LVL'S ARE INDICATED. GANG LAM 12" LVL'S CAN BE USED BUT VARY FROM SIZES INDICATED



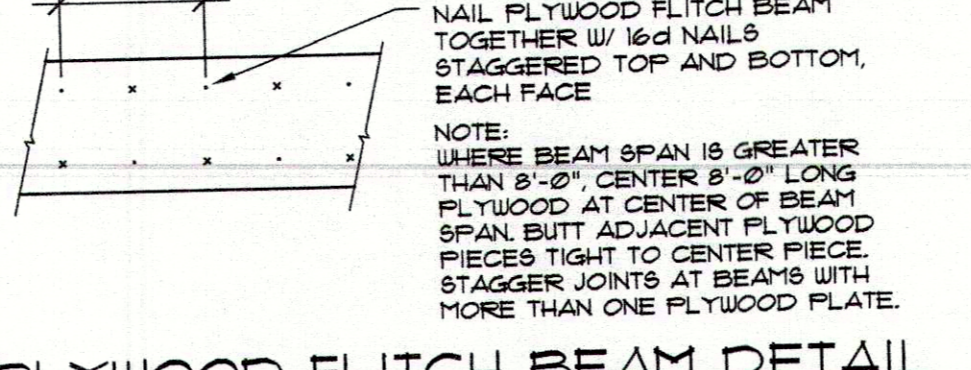
SECTION 1 1/2" = 1'-0"



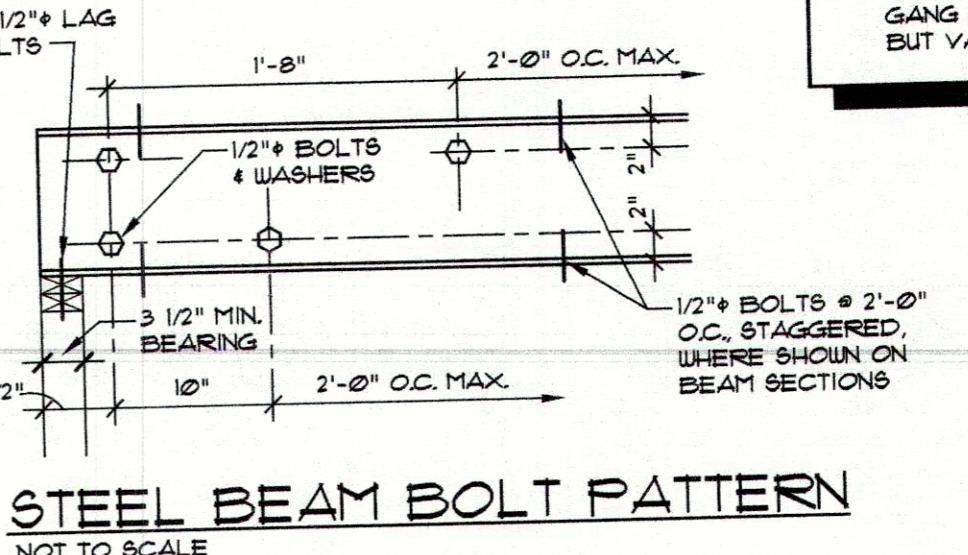
DETAIL AT RAFTER BEAM 3/4" = 1'-0"



MULTIPLE GANG LAM. DETAIL NOT TO SCALE



PLYWOOD FLITCH BEAM DETAIL NOT TO SCALE



STEEL BEAM BOLT PATTERN NOT TO SCALE

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DESIGN NO. 994-A  
 SHEET OF 8  
 STRUCTURAL PLAN