



Variance Request

Application Checklist

Applicant Information

Name	Phone
Mailing Address	Email

Application Checklist

The following information will be required:

- Application
- Notice of Intent
- Applicant's Written Analysis
- Campaign Contribution Disclosure
- Owner's Authorization, if applicable.
- Legal Description and Survey Plat of the property
- Application Fee (summary of fees attached)
- Copy of the Deed that reflects the current owners name
- Vicinity Map outlining the parcel/s in relation to the surrounding area
- Site plan, plat or survey prepared by an architect, engineer. The following information **must** be included:
Specific use or uses proposed for the site. Acreage, bearing and distances, other dimensions, and location of the tract(s). Locations, sizes and setbacks of proposed structures, including the number of stories and total floor area, height, for residential number of units, Square footage of heated floor area. Detention/retention areas, and utility easements. Location of dumpsters. Public or private street(s) - right of way and roadway widths, approximate grades
Location and size of parking area with proposed ingress and egress. Specific types and dimensions of protective measures, such as buffers. Landscaping. Wetlands, stream buffers, and 100 year floodplain.
- Sketch Plan/ Architectural Rendering, if applicable
- Traffic Study required for development with 500,000 sf of nonresidential floor area or 350 dwelling units or more. n/a

List additional attachments:

Note Carefully

If your application qualifies as a "Development of Regional Impact" (see Article 13) then you must follow additional procedures BEFORE your application can be considered. The Community Development Department will assist you with the DRI process, which is mandated by State and GRTA requirements.

Indicate the current zoning district of the property, and the zoning district you are requesting. File a separate application for each Rezoning request naming a different zoning district. A Special Use request, Variance request can be filed concurrently with a Rezoning request on the same property by separate application.



Variance Request Application Form

Applicant Information

Name MC New Macland Properties, LLC
c/o Ellen W. Smith, Esq., Parker Poe Adams & Bernstein, LLP

Phone 678-690-5720

Mailing Address 1075 Peachtree Street NE, Suite 1500, Atlanta, GA 30309

Email ellensmith@parkerpoe.com

Variance Request Property Information

Address 3215 New Macland Road, Powder Springs, GA 30127

Parcel ID / Lot# 190 725 00270

Acreage 0.0825

Present Zoning CRC

Variance Request

Source of Water Supply N/A

Source of Sewage Disposal N/A

Additional Information, If Applicable

Elementary School and School's Capacity N/A

Middle School and School's Capacity N/A

High School and School's Capacity N/A

Peak Hours Trips Generated N/A

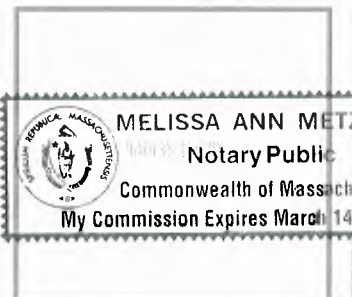
Notary Attestation

Executed in Massachusetts, Middlesex County

MC New Macland Properties, LLC By: <u>[Signature]</u> Signature of Applicant	Margaret Robinson, Senior Counsel, for MC New Macland Properties, LLC Printed Name	 Date
------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------	----------

Subscribed and sworn before me this 17 day of February, 2022.

<u>[Signature]</u> Signature of Notary Public	<u>Melissa Ann Metzler</u> Name of Notary Public	<u>March 14, 2025</u> My Commission Expires
--------------------------------------------------	-----------------------------------------------------	------------------------------------------------



MELISSA ANN METZLER
Notary Public
Commonwealth of Massachusetts
My Commission Expires March 14, 2025

For Official Use Only

PZ #

Planning Commission Hearing

City Council Hearing

Withdrawal Date

Reason for Withdrawal



Variance Request

Notice of Intent

Applicant Information

Name MC New Macland Properties, LLC
c/o Ellen W. Smith, Esq., Parker Poe Adams & Bernstein, LLP

Phone 678-690-5720

Mailing Address 1075 Peachtree Street NE, Suite 1500, Atlanta, GA 30309

Email ellensmith@parkerpoe.com

Notice of Intent

PART I. Please indicate the purpose of this application :

See attached Notice of Intent

PART II. Please list all requested variances:

See attached Notice of Intent

Part III. Existing use of subject property:

See attached Notice of Intent

Part IV. Proposed use of subject property:

See attached Notice of Intent

Part V. Other Pertinent Information (List or attach additional information if needed):

See attached Notice of Intent

Applicant Signature

MC New Macland Properties LLC

By:

Margaret Robinson, Senior Counsel,
for MC New Macland Properties, LLC

2-17-22

Signature of Applicant

Printed Name

Date



Ellen W. Smith
Partner
t: 678.690.5720
f: 404.869.6972
ellensmith@parkerpoe.com

Atlanta, GA
Charleston, SC
Charlotte, NC
Columbia, SC
Greenville, SC
Raleigh, NC
Spartanburg, SC
Washington, DC

March 18, 2022

City of Powder Springs
Community Development Department
4488 Pineview Drive
Powder Springs, Georgia 30127

Re: Variance Request Application (“**Application**”) by MC New Macland Properties, LLC (“**Applicant**”) with respect to 3215 New Macland Road, Powder Springs, Georgia, Parcel Number 19072500270 (“**Property**”)

NOTICE OF INTENT

Ladies and Gentlemen:

This law firm has the pleasure of representing Applicant with respect to the Application. Applicant respectfully submits for the City’s consideration the Application, the approval of which will result in the City’s issuance of a variance to the allow the existing communication tower and ancillary improvements associated therewith (collectively, the “**Existing Tower**”), to remain and be considered legal and conforming.¹

Background Information on the Property

The Property is an approximately 0.0826 acre (approximately 3,598 square feet) parcel zoned CRC. The Property was the subject of rezoning and special use applications in 2017 known as PZ17-0008, PZ17-0009 and PZ17-011 (collectively, the “**Tower Applications**”), the approval of which allowed for the construction, operation and maintenance of the Existing Tower. At the time, of approval, there were some 21 conditions of approval required. Concurrent variances were approved with the Tower Applications in 2017 including UDC Sections 4-415(b) and (c) to reduce setback to residential property lines from 300 feet to 259.9 feet, to reduce the ten-foot wide landscape buffer requirement to 7.5 feet in one area, and to allow existing vegetation to serve as a buffer. *See PZ 17 – 011*. The Existing Tower was constructed in accordance with all conditions, as evidenced by the City’s issuance of a certificate of occupancy for the Existing

¹ This Application is being filed in response to condition Number 4 of City rezoning case number PZ21-045, approved on January 18, 2022 by the City (the “**Neighboring Application**”). Applicant objects to the constitutionality of the City’s taking action or purporting to do so on its Property when it was not part of the Neighboring Application. Nevertheless, Applicant files this Application to ensure that the Existing Tower will be considered a legal, conforming use as it is currently sited on the Property.

Tower in 2018, a copy of which is attached.

At the time of the Tower Applications, the Property was leased to the then applicant and tower developer and was part of a larger parcel that was approximately 4.3 acres (the “**Parent Parcel**”). Accordingly, when the special use for the Existing Tower was approved, setbacks were measured not from the leasehold property lines, but from the Parent Parcel property lines. See *UDC, Section 4-415*.² Applicant’s predecessor and the Parent Parcel owners merged the leasehold interest into a sale of the Property, effectively subdividing the Property from the Parent Parcel and, in doing so, unwittingly created a nonconforming lot.

Variance Request

As a result of the transfer of the Property from the predecessor Parent Parcel Owner to Owner, the City has determined that the Existing Tower violates the “placement restrictions” of UDC Section 4-415(b). Because the Existing Tower occupies the Property as a principal use, it now must meet the minimum lot size and setback requirements of the CRC zoning district. In the CRC zoning district, the minimum lot size is 20,000 square feet, the minimum lot frontage is 100 feet, the minimum front setback is 40 feet, the minimum side setback is 15 feet, and the minimum rear setback is 40 feet. See *UDC, Article 2, Table 2-4*. Accordingly, Applicant seeks the following variances:

1. Reduce lot size from 20,000 square feet to 3,600 square feet;
2. Reduce the lot frontage requirement from 100 feet to Variance to the lot frontage requirement to reduce the requirement to 20 feet (by access easement);
3. Reduce the setbacks of the tower to all property lines to 20 feet.³

The variances requested are to allow the Existing Tower to remain and, presumably to allow the development of the Parent Parcel and other property that was included in the Neighboring Application.⁴ **These variances will not result in a physical expansion or other change to the Existing Tower or to the Property.**

² Applicant objects to the provisions of the Division II-A of the Unified Development Code relating to towers and wireless telecommunications facilities and, particularly, to setback requirements being dictated by real estate interest (leasehold verses owned) as they are arbitrary and capricious and without any reasonable relationship to the objective of setback requirements.

³ The centerline of the Existing Tower monopole is essentially in the center of the Property, which is 60 feet by 60 feet square. This means that the center of the monopole is approximately 30 feet from any property line, and depending on how staff determines what is the front or rear setback, the centerline of the tower is approximately 30 feet away. Taking into account the circumference of the tower, this is a conservative estimate to allow the tower to remain where it is but provide for a setback for the principal use.

⁴ Applicant objects to the Neighboring Application and to any action that is taken by a developer pursuant thereto that impacts the Existing Tower, access thereto or Applicant’s property rights.

Filing Requirements

The UDC set forth the requirements applicable to the submission of a variance application. In satisfaction of these requirements, Applicant hereby submits the following documents:

1. Application (UDC, Sec. 14-23(b));
2. Legal description of the Property (UDC, Sec. 14-23(c));
3. Survey plat of the Property and site plan (UDC, Sec. 14-23(d) & (f));
4. this Notice of Intent (UDC, Sec. 14-23(e));
5. Written Analysis (UDC, Sec. 14-23(g));
6. Campaign Contribution Disclosures;
7. Property Owner Authorization;
8. Copies of the Limited Warranty Deed and Easement;
9. Zoning Drawings (Survey, Site, Facility Elevation and other Plans);
10. Application Fee in the amount of \$1,350.00.

The Application and accompanying documents support Applicant's request for approval of the variances to allow the Existing Tower to remain a legal, conforming use of the Property.⁵ Applicant respectfully requests approval of the Application.

We are happy to answer any questions or provide any information that the Department may have with regard to the Application.

Very truly yours,

PARKER POE ADAMS & BERNSTEIN LLP

By:


Ellen W. Smith

⁵ Applicant notifies the City of its constitutional concerns. If the City denies the Application in whole or in part, then the Property does not have a reasonable economic use under the Zoning Ordinance. Furthermore, the Telecommunications Act of 1996, codified at 47 U.S.C. § 332(c) (the "1996 TCA") was intended to "promote competition and reduce regulation in order to secure lower prices and higher quality services for American telecommunications consumers and encourage the rapid deployment of new telecommunications technologies." *Preamble to 1996 TCA*. The primary mechanisms used by the 1996 TCA to "promote competition and reduce regulation" are prohibitions against local regulations that (i) "unreasonably discriminate among providers of functionally equivalent services" or (ii) "prohibit or have the effect of prohibiting the provision of personal wireless services." 47 U.S.C. § 332(c)(7)(B). Also, section 253 of the 1996 TCA provides that "no State or local statute or regulation ...may prohibit or have the effect of prohibiting the ability of any entity to provide any interstate or intrastate telecommunications service." Mayor and City Council may violate the 1996 TCA on all three grounds if the Application is denied. Nevertheless, Applicant remains optimistic that Mayor and City Council's consideration of the Application will be conducted in a constitutional and legal manner.



Variance Request

Applicant's Written Analysis

Applicant Information

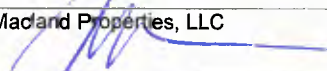
Name MC New Macland Properties, LLC c/o Ellen W. Smith, Esq., Parker Poe Adams & Bernstein, LLP	Phone 678-690-5720
Mailing Address 1075 Peachtree Street NE, Suite 1500, Atlanta, GA 30309	Email ellensmith@parkerpoe.com

Written Analysis

In details please address these Variance Criteria:

a.	Are there extraordinary and exceptional conditions or practical difficulties pertaining to the particular piece of property in question because of its size, shape or topography that are not applicable to other lands or structures in the same district. <u>See attached Written Analysis</u>
b.	A literal interpretation of the provisions of this development code would effectively deprive the applicant of rights commonly enjoyed by other properties of the district in which the property is located. <u>See attached Written Analysis</u>
c.	Granting the variance requested will not confer upon the property of the applicant any special privileges that are denied to other properties of the district in which the applicant's property is located <u>See attached Written Analysis</u>
d.	The requested variance will be in harmony with the purpose and intent of this development code and will not be injurious to the neighborhood or to the general welfare. <u>See attached Written Analysis</u>
e.	The special circumstances are not the result of the actions of the applicant. <u>See attached Written Analysis</u>
f.	The variance requested is the minimum variance that will make possible the proposed use of the land, building, or structure in the use district proposed. <u>See attached Written Analysis</u>
B.	The variance shall not permit a use of land, building or structures, which is not permitted by right in the zoning district overlay district involved. <u>See attached Written Analysis</u>

Applicant Signature

MC New Macland Properties, LLC By: 	Margaret Robinson, Senior Counsel, for MC New Macland Properties, LLC	<u>2/17/22</u>
Signature of Applicant	Printed Name	Date



WRITTEN ANALYSIS IN SUPPORT OF APPLICANT'S APPLICATION

UDC, Section 14-23(g) requires applications for variance to include a written analysis of how the proposed action compares to decision criteria specified for the granting of variances. UDC, Section 14-24 requires the City to consider seven conditions when deciding whether to grant or deny a variance application. Applying the seven conditions to the Application shows that the City should GRANT the Application.

- a) **There are extraordinary and exceptional conditions or practical difficulties pertaining to the particular piece of property in question because of its size, shape, or topography that are not applicable to other lands or structures in the same district.**

The current size of the Property is an extraordinary and exceptional condition that is not applicable to other lands or structures in the same district and that prevents full compliance with the UDC minimum lot size, frontage, and setback standards.

In 2017, when the 170' monopole wireless telecommunications tower ("Tower") was approved, the special use application indicated that the Tower site would be leased, thus, compliance with the minimum UDC requirements regarding lot size, frontage, and setback was measured against the larger parent parcel. When Applicant acquired the Property in fee simple, the minimum UDC requirements regarding lot size, frontage, and setback attached, but the lot dimensional nonconformities were not addressed. At this point, attempting to enlarge the Property to meet the 20,000 square foot requirement would present Applicant with exceptional practical difficulties.

- b) **A literal interpretation of the provisions of this development code would effectively deprive the applicant of rights commonly enjoyed by other properties of the district in which the property is located.**

A literal interpretation of the development code would mean the removal of an existing, permitted and working communications tower that provides E911 and other vital services to this area of the City or, alternatively, forcing Applicant to attempt to negotiate the purchase of an at least 15,000 square feet of additional property and attempts to meet property requirements that have no bearing or rational reality to the use at hand, particularly when there are engineering studies and reports that reflect that the Existing Tower was designed to be located on a site that is as small as the Property is.

- c) **Granting the variance requested will not confer upon the property of the applicant any special privileges that are denied to other properties of the district in which the applicant's property is located.**

Granting the variance would simply bring the Property to compliance with the UDC, and remedy an issue that was created by the sale of property rights and adversely is impacting not only the Property but the ability of the neighboring property owner to develop according

to the most recent approved zoning. No special privileges that are denied to other properties of the district in which the applicant's property is located would be conferred.

- d) The requested variance will be in harmony with the purpose and intent of this development code and will not be injurious to the neighborhood or to the general welfare.**

A decision to grant the variance will ensure that the overall existing character of the area will remain intact. The Property will maintain its approved and existing use as a monopole wireless telecommunications tower improving the general welfare by serving area community members by providing wireless coverage and capacity.

The requested variances will be in harmony with the purpose and intent of the UDC. On December 12, 2019, the Tower was issued a Certificate of Occupancy as a structure in compliance with the various ordinances of City of Powder Springs regulating building construction and use. Furthermore, the Existing Tower is a structurally sound and safe structure with the expected fall radius of no more than 28 feet.

- e) The special circumstances are not the result of the actions of the applicant.**

Applicant acquired the company which owned the Property and which acquired the leasehold and easement rights from the predecessor owner of the Parent Tract. The sale of the Property and the subdivision from the Parent Tract that created the special circumstances applicable to this Application were not the Applicant's doing.

- f) The variance requested is the minimum variance that will make possible the proposed use of the land, building, or structure in the use district proposed.**

The variances requested are the minimum to allow the Existing Tower to remain as constructed and the Property as used currently.

- g) The variance shall not permit a use of land, buildings or structures, which is not permitted by right in the zoning district or overlay district involved.**

The variances requested will not result in a new use. Applicant is not proposing a new use. Applicant intends to keep the current use as a wireless monopole telecommunications tower.



Variance Request

Campaign Contribution Disclosure

Applicant and Attorney Information

Applicant's Name MC New Macland Properties LLC
c/o Ellen W. Smith, Esq., Parker Poe Adams & Bernstein, LLP

Applicant's Address 1075 Peachtree Street NE, Suite 1500, Atlanta, GA 30309

Applicant's Attorney Ellen W. Smith, Esq.

Attorney's Address 1075 Peachtree Street NE, Suite 1500, Atlanta, GA 30309

Campaign Contribution Disclosure

The following information is provided in accordance with the Georgia Conflict of Interest in Zoning Actions Act, O.C.G.A. 36-67A-1 et seq.

The property that is the subject of the attached application is owned by:

- Individual(s)
 Corporation
 Partnership
 ~~Limited Partnership~~
 Limited Liability Company
 Joint Venture

All persons, corporations, partners, limited partners, or joint ventures party to ownership of the property that is the subject of the attached application are listed below:

Municipal Bay, LLC

APPLICANT: Within the two years preceding the date of the attached application, the applicant has made campaign contributions or gifts aggregating \$250 or more to the Mayor, to members of the Powder Springs City Council, or to members of the Planning Commission, as follows:

Name of Official	Amount of Contribution or Gift	Date of Contribution or Gift
None	N/A	N/A

ATTORNEY: Within the two years preceding the date of the attached application, the attorney representing the applicant has made campaign contributions or gifts aggregating \$250 or more to the Mayor, to members of the Powder Springs City Council, or to members of the Planning Commission, as follows:

Name of Official	Amount of Contribution or Gift	Date of Contribution or Gift
None	N/A	N/A



Variance Request Owner's Authorization Form

Owner's Authorization


Applicant Name MC New Macland Properties, LLC c/o Ellen W. Smith, Esq., Parker Poe Adams & Bernstein, LLP	Applicant's Address 1075 Peachtree Street NE, Suite 1500, Atlanta, GA 30309
Property Address 3215 New Macland Road Powder Springs, GA	Property PIN 190 725 00270

This is to certify that I am or We are or I am the Authorized Representative of a Corporation that is the owner of a majority interest in the subject property of the attached application. By execution of this form, this is to authorize the person names as "applicant" below, acting on behalf of the owner, to file for and pursue a request for approval of the following:

Check all that apply:

Rezoning <input type="checkbox"/>	Special Use <input type="checkbox"/>	Hardship Variance <input checked="" type="checkbox"/>
Special Exception <input type="checkbox"/>	Flood Protection Variance <input type="checkbox"/>	Appeal of Administrative Decision <input type="checkbox"/>

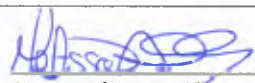
Signature of Property Owner(s)

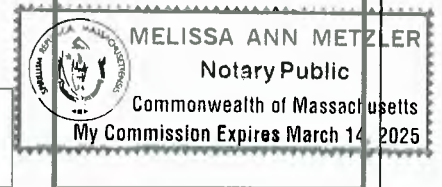
MC New Macland Properties, LLC By: 	Margaret Robinson, Senior Counsel, for MC New Macland Properties, LLC	2/17/22
Signature of Owner	Printed Name	Date

State of MA, County of Middlesex

This instrument was acknowledged before me this 17 day of February month.

2022, by Margaret Robinson name of signor. Identification Presented: personally known

	<u>Melissa Ann Metzler</u>	<u>March 14, 2025</u>
Signature of Notary Public	Name of Notary Public	My Commission Expires



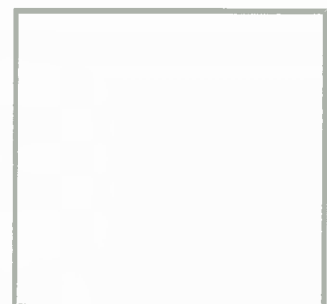
Signature of Owner	Printed Name	Date
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State of _____, County of _____.

This instrument was acknowledged before me this _____ day of _____ month.

20____, by _____ name of signor. Identification Presented: _____

Signature of Notary Public	Name of Notary Public	My Commission Expires
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PROJECT SUMMARY

FIELD SURVEY DATE: 6/27/2018
 SITE ADDRESS: 3215 NEW MACLAND ROAD
 POWDER SPRINGS, GA 30127

PARCEL INFORMATION
 OWNER: MCNEW MACLAND PROPERTIES, LLC
 ADDRESS: UNABLE TO DETERMINE AT TIME OF SURVEY
 APN: PART OF 19072500020

TOTAL AREAS:
 PARENT PARCEL/ATC AREA: 0.0826 ACRES ±

GEOGRAPHIC COORDINATES OF TOWER:
 LATITUDE: 33°52'31.97" N (33.875547)
 LONGITUDE: 84°40'32.26" W (84.675628)
 VERTICAL DATUM: NAD83 (COMPUTED USING GEOID 12B)
 HORIZONTAL DATUM: NAD83
 GROUND ELEVATION: 965.2
 *BEARINGS ARE BASED ON GRID NORTH (GA WEST ZONE)

FLOODPLAIN:
 PER THE FEMA FLOODPLAIN MAPS, THE SITE IS LOCATED IN AN AREA DESIGNATED AS ZONE X COMMUNITY PANEL NO.: 13067C0093H DATED: 3/4/2013.

*THIS SPECIFIC PURPOSE ALTA SURVEY IS FOR THE ATC AREA AND EASEMENTS ONLY AND WAS PREPARED FOR THE EXCLUSIVE USE OF AMERICAN TOWER CORPORATION AND EXCLUSIVELY FOR THE TRANSFER OF THE ATC AREA AND THE RIGHTS OF EASEMENT SHOWN HEREON. BOUNDARY INFORMATION SHOWN HEREON HAS BEEN COMPILED FROM TAX MAPS AND DEED DESCRIPTIONS ONLY. NO BOUNDARY SURVEY OF THE PARENT PARCEL WAS PERFORMED.

ENCROACHMENT STATEMENT:
 THERE ARE VARIOUS APPARENT FENCE ENCROACHMENTS OUTSIDE THE PARENT PARCEL/ATC AREA AS SHOWN HEREON.

SURVEYOR'S NOTES

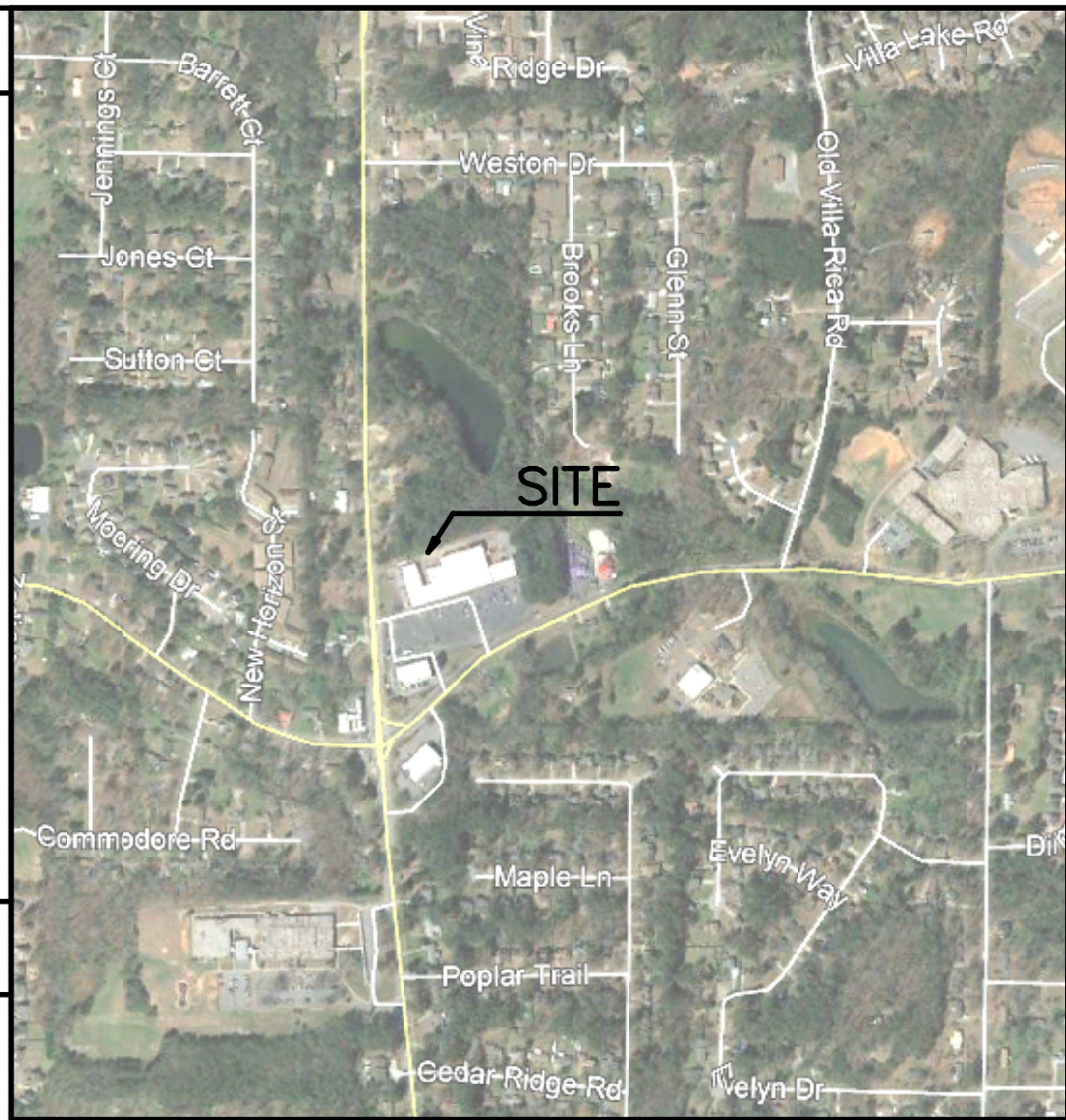
- THERE IS ACCESS TO THE SUBJECT PROPERTY VIA NEW MACLAND ROAD, A PUBLIC RIGHT OF WAY.
- THE LOCATIONS OF ALL UTILITIES SHOWN ON THE SURVEY ARE FROM VISIBLE SURFACE EVIDENCE ONLY.
- AT THE TIME OF THIS SURVEY THERE WAS NO OBSERVABLE SURFACE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
- AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF THE SUBJECT PROPERTY BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF ANY RECENT CHANGES IN STREET RIGHT-OF-WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION.
- AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF ANY RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- THE FIELD DATA UPON WHICH THIS SURVEY IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 20,000+ FEET AND AN ANGULAR ERROR OF 5.0" PER ANGLE POINT AND WAS ADJUSTED USING LEAST SQUARES.
- EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: LEICA TPS 1200 ROBOTIC & GEOMAX ZENTH 35.
- NO WETLANDS AREAS HAVE BEEN INVESTIGATED BY THIS SURVEY.

ZONING INFORMATION

ZONE: CRC (COMMUNITY RETAIL COMMERCIAL DISTRICT)
 *ALL SITE RESTRICTIONS SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS

ZONING CONDITIONS:
 PZ 17--008:
 *A MOTION TO APPROVE THE REZONING TO CRC WITH THE FOLLOWING CONDITIONS:
 1. BOTH THE OWNER OF THE PROPERTY & THE APPLICANT AGREE THAT A REZONING TO THE CRC CLASSIFICATION WILL BE CONDONED TO THE EXTENT THAT ONLY THOSE USES PERMITTED UNDER THE NRC CLASSIFICATION (AS THE SUBJECT PROPERTY IS PRESENTLY ZONED) WILL BE ALLOWED, WITH THE EXCEPTION THAT A WIRELESS COMMUNICATIONS TOWER UP TO 170' MAY BE PERMITTED AFTER SPECIAL USE APPROVAL.

PZ 17--011:
 *A MOTION TO APPROVE THE VARIANCE TO REDUCE THE SETBACK TO RESIDENTIAL FOR THE WIRELESS TELECOMMUNICATIONS TOWER FROM 300' REQUIREMENT TO 259.9'.

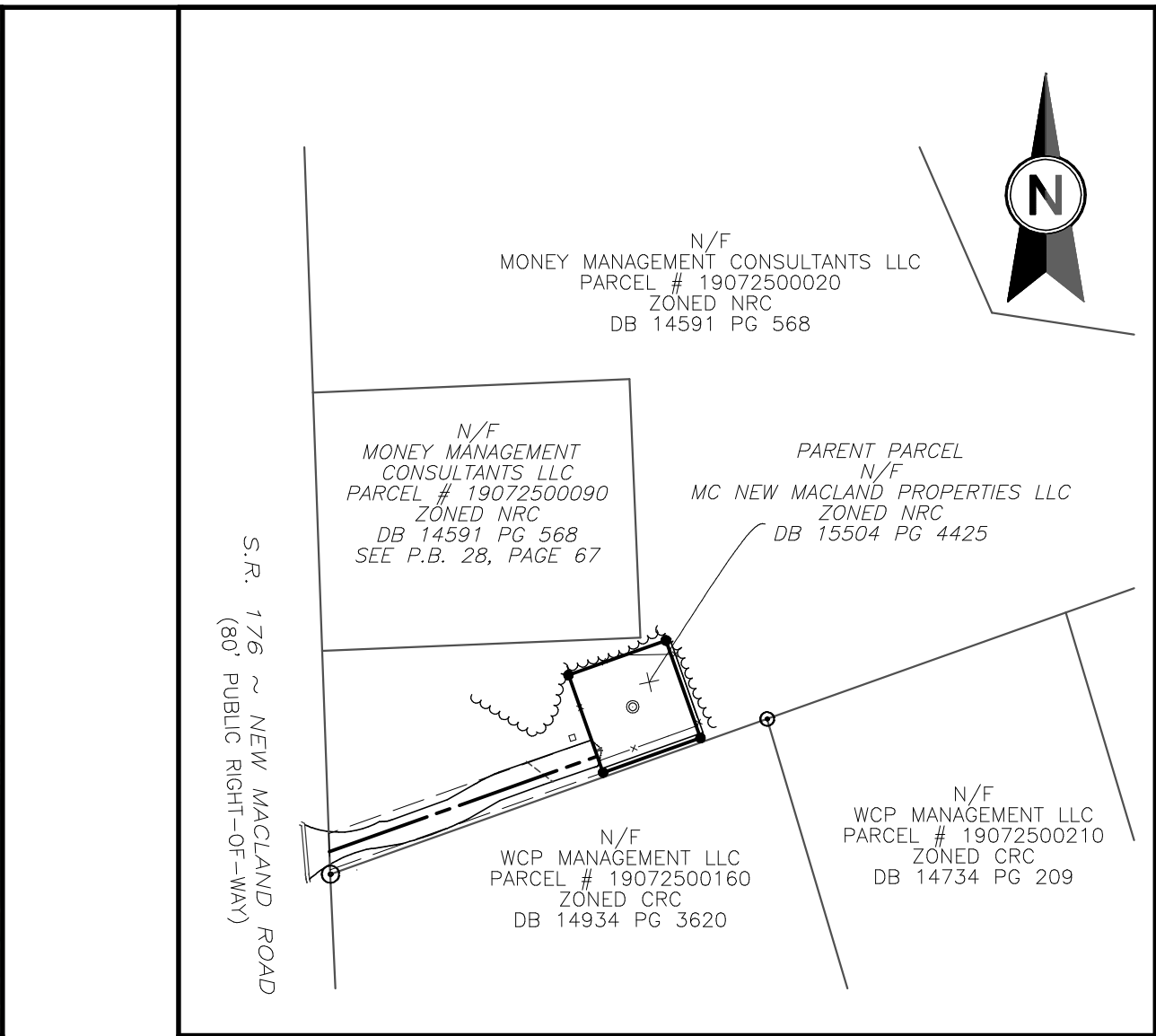


1 VICINITY MAP

GPS NOTES

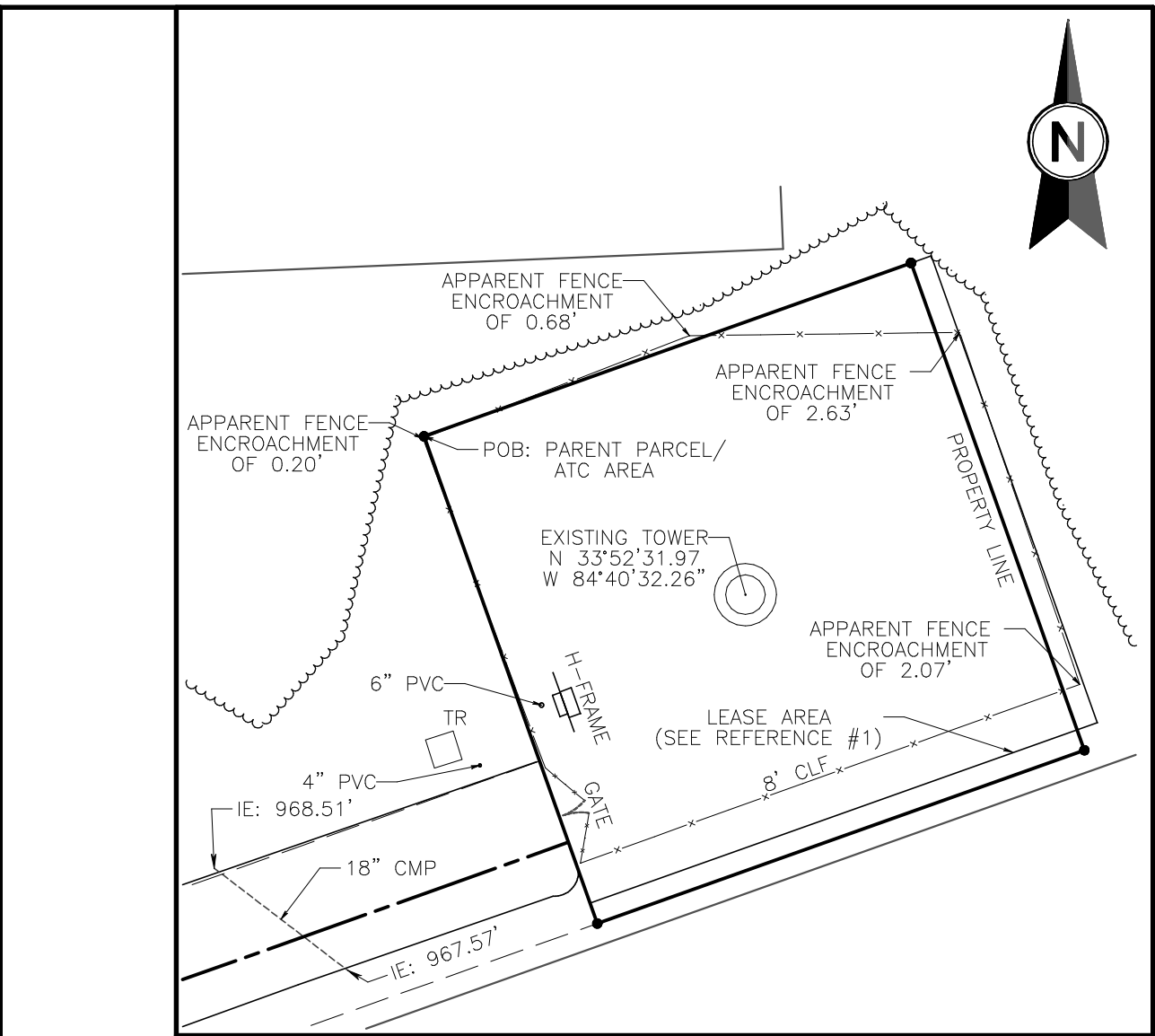
THE FOLLOWING GPS STATISTICS UPON WHICH THIS SURVEY IS BASED HAVE BEEN PRODUCED AT THE 95% CONFIDENCE LEVEL:

POSITIONAL ACCURACY: 0.04 FEET
 TYPE OF GPS FIELD PROCEDURE: REAL-TIME KINEMATIC NETWORKS
 DATES OF SURVEY: 6-27-18
 DATUM / EPOCH: NAD 83(2011)(EPOCH:2010.0000)
 PUBLISHED / FIXED CONTROL USE: N/A
 GEOID MODEL: 12B
 COMBINED GRID FACTOR(S): 0.99988568



2 PARENT PARCEL

SCALE: 1"=200' (11X17)
 1"=100' (22X34)



3 COMPOUND DETAIL

SCALE: 1"=40' (11X17)
 1"=20' (22X34)

LEGAL DESCRIPTION

PARENT PARCEL/ATC AREA - AS PROVIDED PER COMMITMENT NO. ATC-1136264-C

ALL THAT TRACT OR PARCEL OF LAND, LYING AND BEING LOCATED IN LAND LOT 725, 19TH DISTRICT, 2ND SECTION, COBB COUNTY, GEORGIA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 1/2-INCH REBAR FOUND ON THE EASTERLY RIGHT-OF-WAY OF NEW MACLAND ROAD (HAVING AN 80'-FOOT PUBLIC RIGHT-OF-WAY); SAID PIN ALSO BEING THE NORTHWEST CORNER OF LANDS OWNED BY WCP EQUITIES LLC PER DEED BOOK 14934 PAGE 3620 COBB COUNTY RECORDS; THENCE RUNNING ALONG SAID RIGHT-OF-WAY, NORTH 02°03'07" WEST, 13.11 FEET TO A POINT; THENCE LEAVING SAID RIGHT-OF-WAY AND RUNNING, NORTH 70°24'57" EAST, 165.00 FEET TO A POINT; THENCE, NORTH 19°35'03" WEST, 50.00 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE, NORTH 70°24'57" EAST, 60.00 FEET TO A POINT; THENCE, SOUTH 19°35'03" WEST, 60.00 FEET TO A POINT; THENCE, SOUTH 70°24'57" WEST, 60.00 FEET TO A POINT; THENCE, NORTH 19°35'03" WEST, 60.00 FEET TO A POINT AND THE TRUE POINT OF BEGINNING.

TOGETHER WITH ACCESS RIGHTS AS CONVEYED BY EASEMENT AGREEMENT DATED DECEMBER 21, 2017 AND RECORDED DECEMBER 29, 2017, IN BOOK 15504 PAGE 4429; AFFECTED BY AFFIDAVIT DATED JANUARY 30, 2018 AND RECORDED APRIL 25, 2018, IN BOOK 15532 PAGE 5882.

PORTION OF PARCEL ID#19072500020

THIS BEING THE SAME PROPERTY CONVEYED TO MC NEW MACLAND PROPERTIES, LLC, A GEORGIA LIMITED LIABILITY COMPANY FROM MONEY MANAGEMENT CONSULTANTS, LLC, A GEORGIA LIMITED LIABILITY COMPANY, IN WARRANTY DEED DATED DECEMBER 19, 2018 AND RECORDED DECEMBER 29, 2017, IN BOOK 15504 PAGE 4425.

20' INGRESS-EGRESS & UTILITY EASEMENT (AS PROVIDED AND AS SURVEYED)

TOGETHER WITH A 20'-FOOT WIDE INGRESS-EGRESS AND UTILITY EASEMENT, LYING 10' EITHER SIDE OF CENTERLINE AND BEING LOCATED IN LAND LOT 725, 19TH DISTRICT, 2ND SECTION, COBB COUNTY, GEORGIA, AND BEING MORE PARTICULARLY DESCRIBED BY THE FOLLOWING CENTERLINE DATA:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A 1/2-INCH REBAR FOUND ON THE EASTERLY RIGHT-OF-WAY OF NEW MACLAND ROAD (HAVING AN 80'-FOOT PUBLIC RIGHT-OF-WAY); SAID PIN ALSO BEING THE NORTHWEST CORNER OF LANDS OWNED BY WCP EQUITIES LLC PER DEED BOOK 14934 PAGE 3620 COBB COUNTY RECORDS; THENCE RUNNING ALONG SAID RIGHT-OF-WAY, NORTH 02°03'07" WEST, 13.11 FEET TO A POINT AND THE TRUE POINT OF BEGINNING; THENCE LEAVING SAID RIGHT-OF-WAY AND RUNNING, NORTH 70°24'57" EAST, 165.00 FEET TO THE ENDING AT A POINT ON THE PARENT PARCEL/ATC AREA.

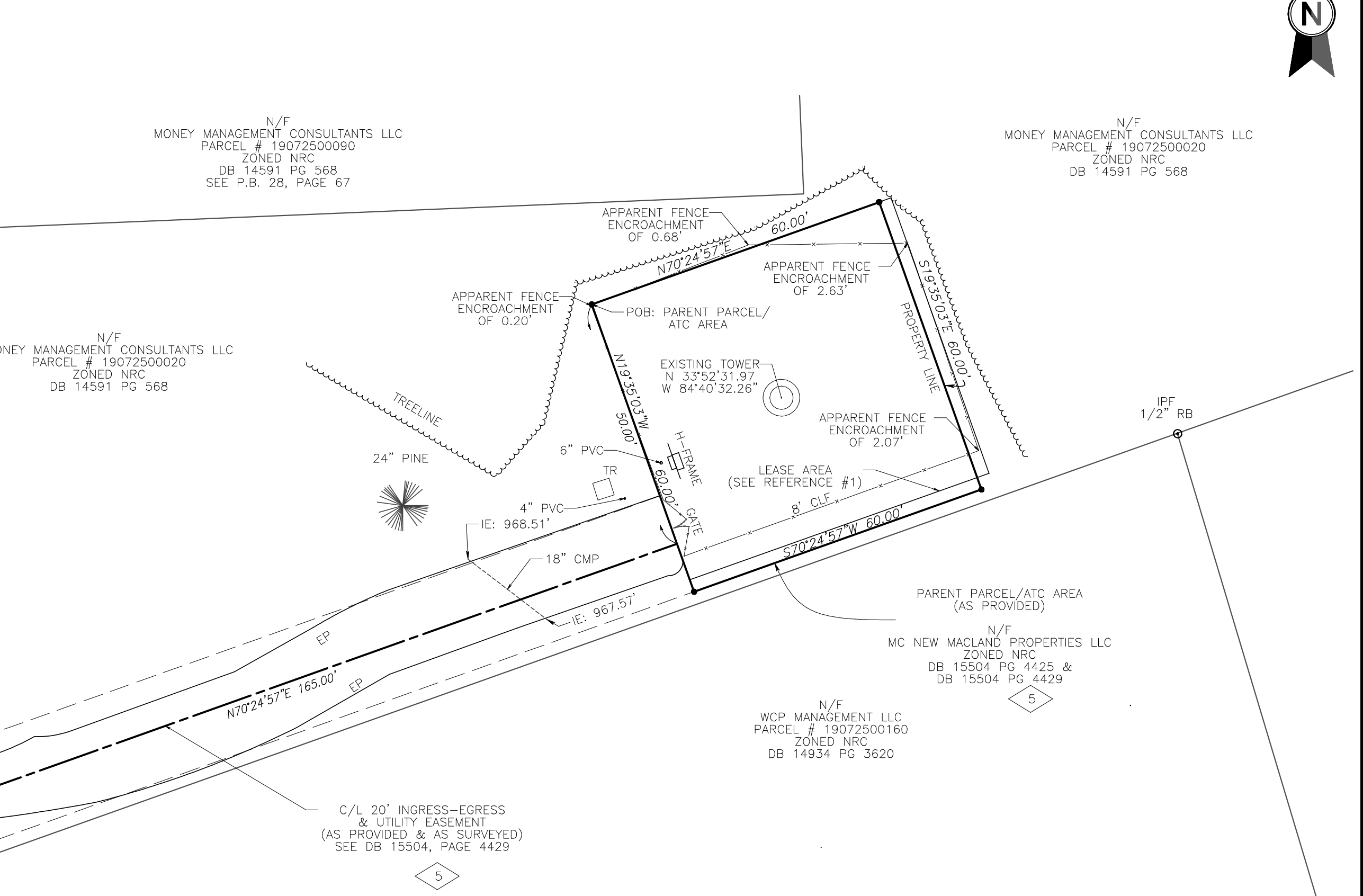
NOTES CORRESPONDING TO SCHEDULE B

THIS SURVEY WAS COMPLETED WITH THE AID OF TITLE WORK PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT DATE OF AUGUST 6, 2018, BEING COMMITMENT NO. ATC-1136264-C FOR THE SUBJECT PROPERTY, TO DETERMINE THE IMPACTS OF EXISTING TITLE EXCEPTIONS. THE COMMITMENT CONTAINS THE FOLLOWING SURVEY RELATED ITEMS.

- ALL MATTERS CONTAINED ON THE PLAT OF PROPERTY OF MR. & MRS. BRINKLEY D. SMITH RECORDED IN PLAT BOOK 28 PAGE 67, PUBLIC RECORDS OF COBB COUNTY, GA. [THIS ITEM IS NOT APPLICABLE TO THE SUBJECT PROPERTY].
- EASEMENT BETWEEN GLEN G. BROOKS AND GEORGIA POWER COMPANY, DATED OCTOBER 28, 1982 AND RECORDED FEBRUARY 14, 1983, IN BOOK 2685 PAGE 385, IN COBB COUNTY, GEORGIA. [THIS ITEM IS APPLICABLE TO THE SUBJECT PROPERTY AND IS BLANKET IN NATURE.]
- PERMIT FOR ANCHORS, GUY POLES AND WIRES BETWEEN GLEN G. BROOKS, JR. AND GEORGIA POWER COMPANY, A CORPORATION, DATED APRIL 22, 1983 AND RECORDED MAY 4, 1983, IN BOOK 2747 PAGE 421, IN COBB COUNTY, GEORGIA. [THIS ITEM IS APPLICABLE TO THE SUBJECT PROPERTY AND IS BLANKET IN NATURE.]
- EASEMENT AGREEMENT BETWEEN MONEY MANAGEMENT CONSULTANTS, LLC, A GEORGIA LIMITED LIABILITY COMPANY, AND MC NEW MACLAND PROPERTIES, LLC, A GEORGIA LIMITED LIABILITY COMPANY, DATED DECEMBER 21, 2017 AND RECORDED DECEMBER 29, 2017, IN BOOK 15504 PAGE 4429, IN COBB COUNTY, GEORGIA. AFFECTED BY AFFIDAVIT DATED JANUARY 30, 2018 AND RECORDED APRIL 25, 2018, IN BOOK 15532 PAGE 5882, IN COBB COUNTY, GEORGIA. [THIS ITEM IS APPLICABLE TO THE SUBJECT PROPERTY AND IS SHOWN HEREON.]

SURVEY LEGEND

POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
IPS	IRON PIN SET
IPF	IRON PIN FOUND
CMF	CONCRETE MONUMENT FOUND
RB	REBAR
UP	UTILITY POLE
FH	FIRE HYDRANT
OU	OVERHEAD UTILITY
RCP	REINFORCED CONCRETE PIPE
CMP	CORRUGATED METAL PIPE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
PVC	POLYVINYL CHLORIDE PIPE
GW	GUY WIRE ANCHOR
TR	TRANSFORMER
CLF	CHAIN LINK FENCE
N/F	NOW OR FORMERLY
IB	ICE BRIDGE
IBP	ICE BRIDGE POLE
A/C	AIR CONDITIONING
TYP	TYPICAL
CP	CONCRETE PAD
GC	GROUND COVER
R/W	RIGHT-OF-WAY
U/P	UTILITY POLE
---	EXISTING PROPERTY
- - -	EXISTING ADJ. PROPERTY
- - - -	EXISTING EASEMENT
- - - - -	EXISTING CHAIN LINK FENCE
- - - - -	EXISTING BARB WIRE FENCE
- - - - -	EXISTING STORM DRAIN LINE
- - - - -	EXISTING OVERHEAD WIRE
- - - - -	EXISTING GROUND SPACE



4 SURVEY PLAN

SCALE: 1"=40' (11X17)
 1"=20' (22X34)

SURVEYOR'S CERTIFICATE

TO AMERICAN TOWER CORPORATION AND (NAME OF TITLE INSURER) COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH 2018 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 7(A), 7(B)(1), 7(C), 8, 9, 11, AND 12, TABLE A HEREOF.

CHARLES LEE INER, GA REGISTERED LAND SURVEYOR #2966
 CERTIFICATE OF AUTHORIZATION: LSF000843

AMERICAN TOWER®
ATC TOWER SERVICES, INC.

3500 REGENCY PARKWAY
 SUITE 100
 CARY, NC 27518
 PHONE: (919) 468-0112
 FAX: (919) 466-5415

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OR SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED CARRIER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER WILL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTOR(S) MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR ISSUANCE OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

REV.	DESCRIPTION	BY	DATE
1	INITIAL RELEASE	DMM	8/16/18
2	ZONING NOTES	FAL	8/23/18
3	VERBIAGE	NRW	9/13/18

ATC SITE NUMBER:
284979

ATC SITE NAME:
COMMODORE GA

SITE ADDRESS:
 3215 NEW MACLAND ROAD
 POWDER SPRINGS, GA 30127

GEORGIA REGISTERED LAND SURVEYOR
 No. 2966
 CHARLES LEE INER

CHARLES LEE INER, GA REGISTERED LAND SURVEYOR #2966
 CERTIFICATE OF AUTHORIZATION: LSF000843

SURVEY BY:
 POINT TO POINT LAND SURVEYORS
 1010 PENNSYLVANIA AVENUE
 MCDONOUGH, GA 30253
 (p) (678) 565-4440
 (f) (678) 565-4497
 (w) pointtopointsurvey.com
 P2P DRAWING NO: 18-D-332
 P2P JOB NO: 183511GA

DRAWN BY:	DMM
APPROVED BY:	CLI
DATE DRAWN:	08/16/18
ATC JOB NO:	284979

*** ALTA SURVEY**

SHEET NUMBER: **V-101** REVISION: **2**

PROJECT SUMMARY

FIELD SURVEY DATE: 6/27/2018
 SITE ADDRESS: 3215 NEW MACLAND ROAD
 POWDER SPRINGS, GA 30127

PARCEL INFORMATION
 OWNER: MCNEW MACLAND PROPERTIES, LLC
 ADDRESS: 3215 NEW MACLAND ROAD
 APN: PART OF 19072500020

TOTAL AREAS:
 PARENT PARCEL/ATC AREA: 0.0826 ACRES ±

GEOGRAPHIC COORDINATES OF TOWER:
 LATITUDE: 33°52'31.97" N (33.875547)
 LONGITUDE: 84°40'32.26" W (-84.675628)
 VERTICAL DATUM: NAVD 1988 (COMPUTED USING GEOID 12B)
 HORIZONTAL DATUM: NAD83
 GROUND ELEVATION: 965.2
 *BEARINGS ARE BASED ON GRID NORTH (GA WEST ZONE)

FLOODPLAIN:
 PER THE FEMA FLOODPLAIN MAPS, THE SITE IS LOCATED IN AN AREA DESIGNATED AS ZONE X, COMMUNITY PANEL NO.: 13067C0093H DATED: 3/4/2013.

*THIS SPECIFIC PURPOSE EXISTING CONDITIONS & TOPOGRAPHIC PLAN IS FOR THE ATC AREA AND EASEMENTS ONLY AND WAS PREPARED FOR THE EXCLUSIVE USE OF AMERICAN TOWER CORPORATION AND EXCLUSIVELY FOR THE TRANSFERRAL OF THE ATC AREA AND THE RIGHTS OF EASEMENT SHOWN HEREON AND SHALL NOT BE USED AS AN EXHIBIT OR EVIDENCE IN THE FEE SIMPLE TRANSFERRAL OF THE PARENT PARCEL NOR ANY PORTION OR PORTIONS THEREOF. BOUNDARY INFORMATION SHOWN HEREON HAS BEEN COMPILED FROM TAX MAPS AND DEED DESCRIPTIONS ONLY. NO BOUNDARY SURVEY OF THE PARENT PARCEL WAS PERFORMED.

ENCROACHMENT STATEMENT:
 THERE ARE VARIOUS APPARENT FENCE ENCROACHMENTS OUTSIDE THE PARENT PARCEL/ATC AREA AS SHOWN HEREON.

SURVEYOR'S NOTES

1. THERE IS ACCESS TO THE SUBJECT PROPERTY VIA NEW MACLAND ROAD, A PUBLIC RIGHT OF WAY.
2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THE SURVEY ARE FROM VISIBLE SURFACE EVIDENCE ONLY.
3. AT THE TIME OF THIS SURVEY THERE WAS NO OBSERVABLE SURFACE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
4. AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF THE SUBJECT PROPERTY BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
5. AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF ANY RECENT CHANGES IN STREET RIGHT-OF-WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION.
6. AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF ANY RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
7. THE FIELD DATA UPON WHICH THIS SURVEY IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 20,000+ FEET AND AN ANGULAR ERROR OF 5.0" PER ANGLE POINT AND WAS ADJUSTED USING LEAST SQUARES.
8. EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: LEICA TPS 1200 ROBOTIC & GEOMAX ZENITH 35.
9. NO WETLANDS AREAS HAVE BEEN INVESTIGATED BY THIS SURVEY.

ZONING INFORMATION

ZONE: NRC (NEIGHBORHOOD RETAIL COMMERCIAL DISTRICT)
 *ALL SITE RESTRICTIONS SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS

ZONING CONDITIONS:
 PZ 17--00B:
 *A MOTION TO APPROVE THE REZONING TO CRC WITH THE FOLLOWING CONDITIONS:
 1. BOTH THE OWNER OF THE PROPERTY & THE APPLICANT AGREE THAT A REZONING TO THE CRC CLASSIFICATION WILL BE CONDITIONAL TO THE EXTENT THAT ONLY THOSE USES PERMITTED UNDER THE NRC CLASSIFICATION (AS THE SUBJECT PROPERTY IS PRESENTLY ZONED) WILL BE ALLOWED, WITH THE EXCEPTION THAT A WIRELESS COMMUNICATION TOWER UP TO 170' MAY BE PERMITTED AFTER SPECIAL USE APPROVAL.

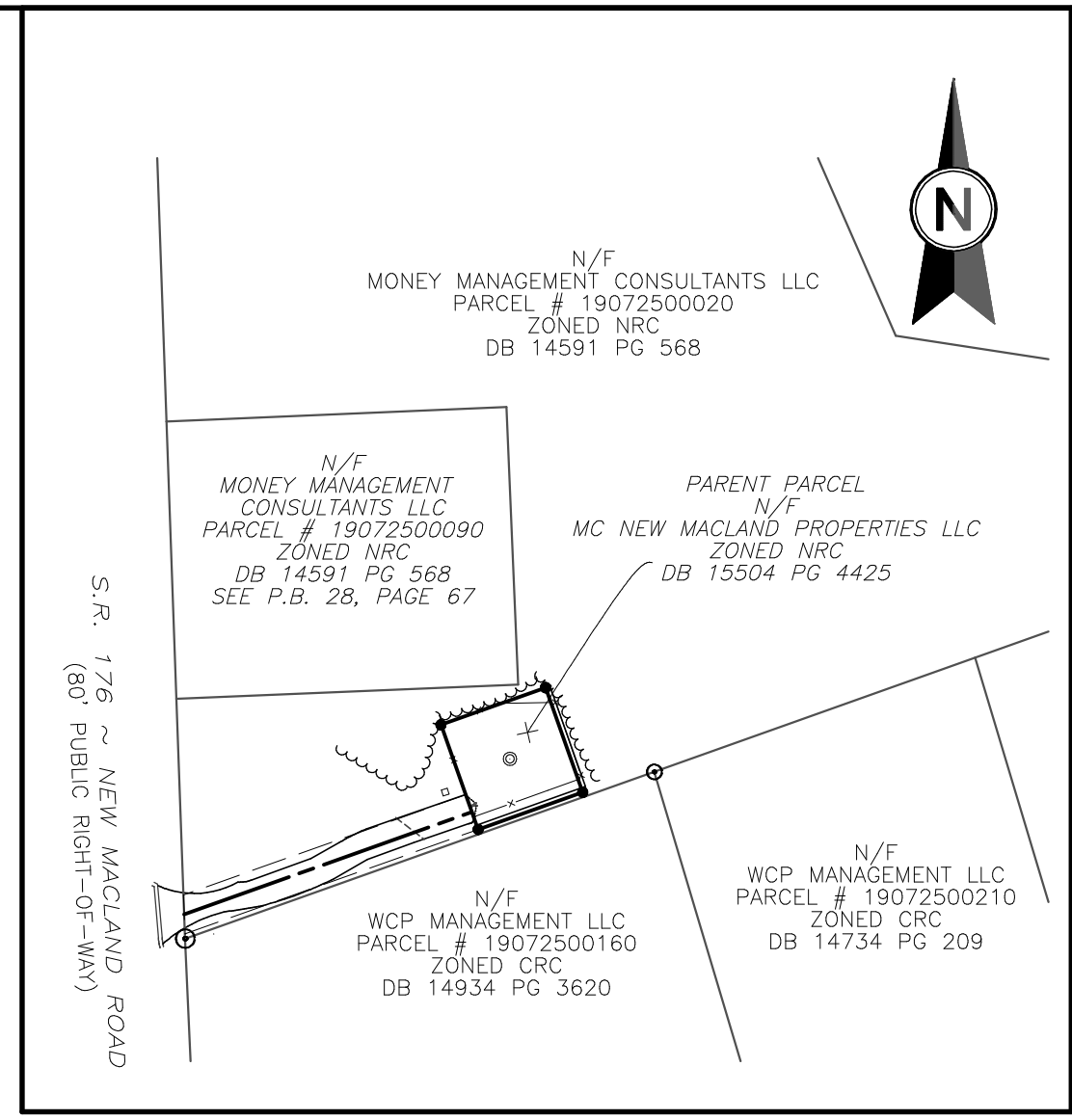
PZ 17--011:
 *A MOTION TO APPROVE THE VARIANCE TO REDUCE THE SETBACK TO RESIDENTIAL FOR THE WIRELESS TELECOMMUNICATIONS TOWER FROM 300' REQUIREMENT TO 259.9'.

GPS NOTES

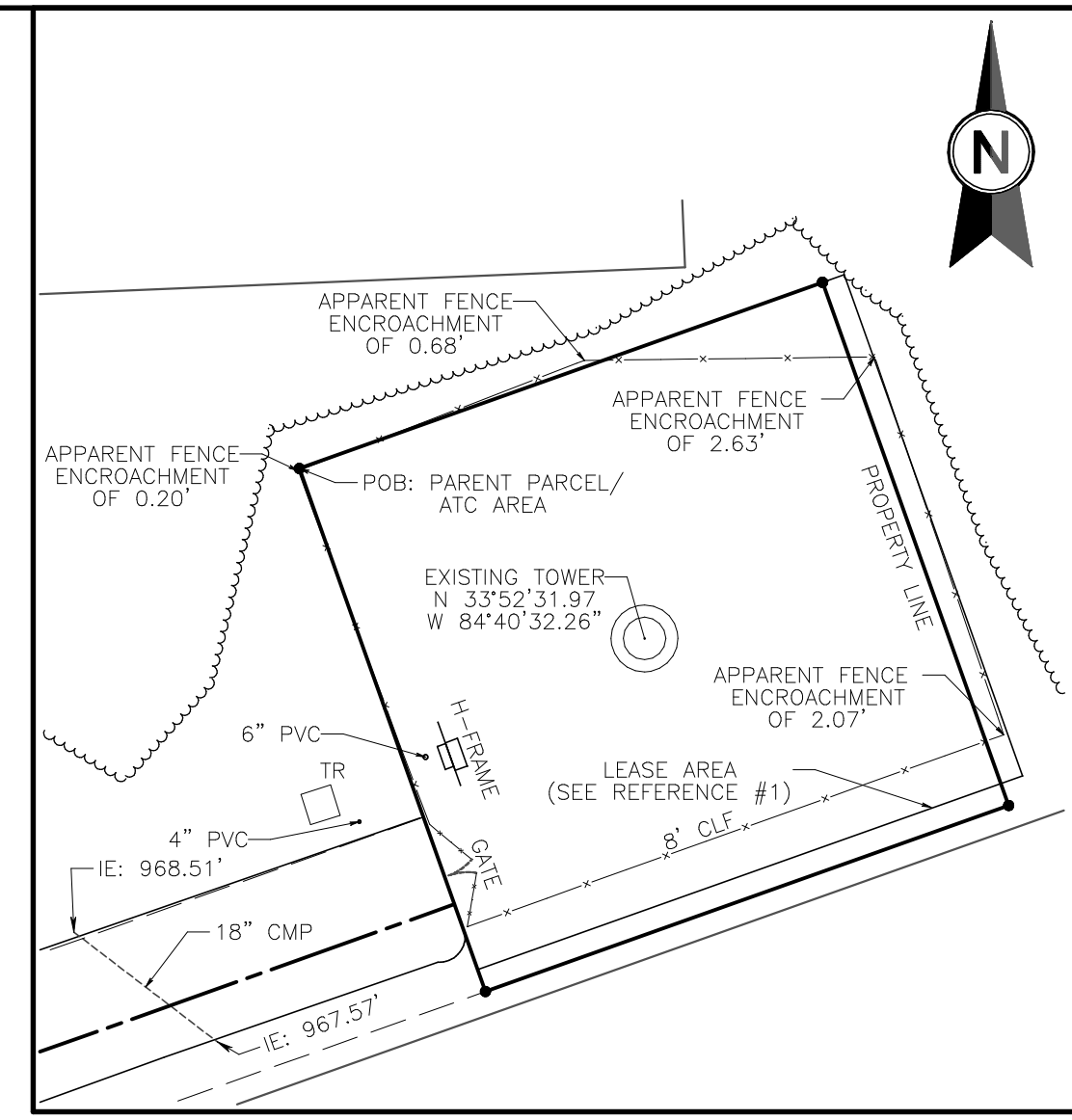
THE FOLLOWING GPS STATISTICS UPON WHICH THIS SURVEY IS BASED HAVE BEEN PRODUCED AT THE 95% CONFIDENCE LEVEL:
 POSITIONAL ACCURACY: 0.04 FEET
 TYPE OF GPS FIELD PROCEDURE: REAL-TIME KINEMATIC NETWORKS
 DATES OF SURVEY: 6-27-18
 DATUM / EPOCH: NAD_83(2011)(EPOCH:2010.0000)
 PUBLISHED / FIXED CONTROL USE: N/A
 GEOID MODEL: 12B
 COMBINED GRID FACTOR(S): 0.99988568

REFERENCE NOTES

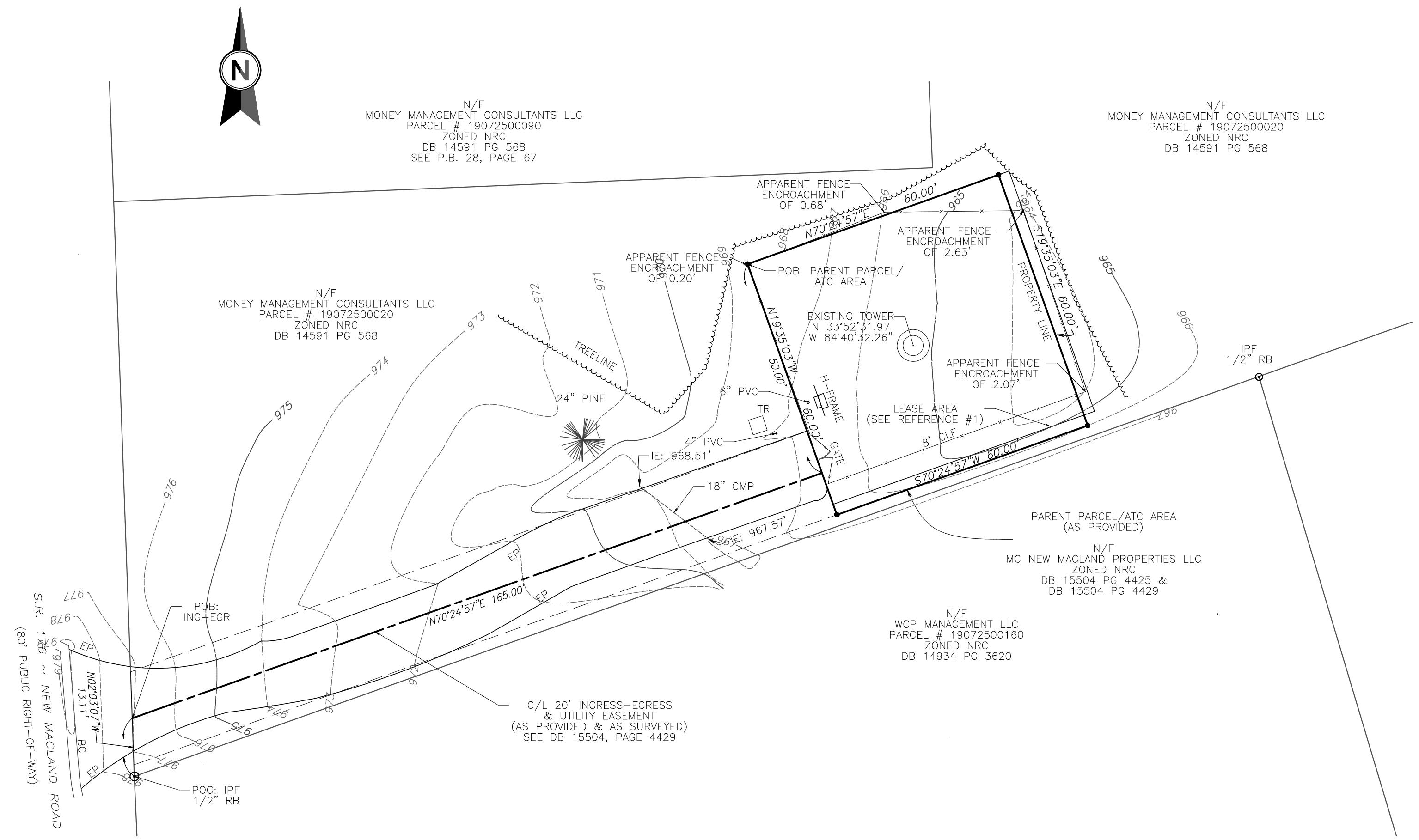
1. SURVEY PERFORMED BY POINT TO POINT LAND SURVEYORS DATED JULY 20, 2018 AND PREPARED FOR MUNICIPAL COMMUNICATIONS.



2 PARENT PARCEL
 SCALE: 1"=200' (11X17)
 1"=100' (22X34)



3 COMPOUND DETAIL
 SCALE: 1"=40' (11X17)
 1"=20' (22X34)



4 SURVEY PLAN
 SCALE: 1"=40' (11X17)
 1"=20' (22X34)

SURVEY LEGEND

POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
IPS	IRON PIN SET
IPF	IRON PIN FOUND
CMF	CONCRETE MONUMENT FOUND
RB	REBAR
UP	UTILITY POLE
FH	FIRE HYDRANT
OU	OVERHEAD UTILITY
RCP	REINFORCED CONCRETE PIPE
CMP	CORRUGATED METAL PIPE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
PVC	POLYVINYL CHLORIDE PIPE
CW	GUY WIRE ANCHOR
TR	TRANSFORMER
CLF	CHAIN LINK FENCE
N/F	NOW OR FORMERLY
IB	ICE BRIDGE
IBP	ICE BRIDGE POLE
A/C	AIR CONDITIONING
TYP	TYPICAL
CP	CONCRETE PAD
GC	GROUND COVER
R/W	RIGHT-OF-WAY
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---	EXISTING PROPERTY
- - -	EXISTING ADJ. PROPERTY
- - - - -	EXISTING EASEMENT
- - - - -	EXISTING CHAIN LINK FENCE
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REV.	DESCRIPTION	BY	DATE
1	INITIAL RELEASE	DMM	8/16/18
2	ZONING NOTES	EAL	8/23/18
3	VERBIAGE	NRW	9/13/18

ATC SITE NUMBER:
 284979

ATC SITE NAME:
 COMMODORE GA

SITE ADDRESS:
 3215 NEW MACLAND ROAD
 POWDER SPRINGS, GA 30127

CHARLES LEE INER, GA REGISTERED LAND SURVEYOR #2966
 CERTIFICATE OF AUTHORIZATION: LSF000843

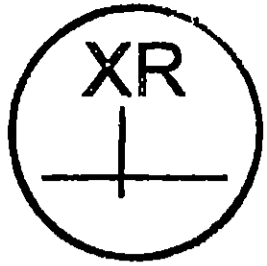
SURVEY BY:
 POINT TO POINT LAND SURVEYORS
 1010 PENNSYLVANIA AVENUE
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 (f) (678) 565-4497
 (w) pointtopointsurvey.com
 P2P DRAWING NO: 18-D-332
 P2P JOB NO: 183511GA

DRAWN BY:	DMM
APPROVED BY:	CLI
DATE DRAWN:	08/16/18
ATC JOB NO:	284979

***EXISTING CONDITIONS & TOPOGRAPHY PLAN**

SHEET NUMBER: V-102	REVISION: 2
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Deed Book 15504 Pg 4425
Filed and Recorded Dec-29-2017 11:55am
2017-0145348
Real Estate Transfer Tax \$140.00
0332017031372

Rebecca Keaton
Rebecca Keaton
Clerk of Superior Court Cobb Cty. Ga.

Mail

After recording return to:

After recording please return to:
Trinity Title Insurance Agency, Inc.
P.O. Box 1828
Decatur, GA 30031-1828
TTIA file 64503.05

Cross Reference to:
Deed Book 14591, Page 568
Cobb County, Georgia records

LIMITED WARRANTY DEED

4
16

THIS INDENTURE is made this December 19, 2017, between MONEY MANAGEMENT CONSULTANTS, LLC, a Georgia limited liability company (hereinafter referred to as "Grantor"), and MC NEW MACLAND PROPERTIES, LLC, a Georgia limited liability company (hereinafter referred to as "Grantee"), ("Grantor" and "Grantee" to include their respective successors, legal representatives and assigns where the context requires or permits).

WITNESSETH

Grantor, for and in consideration of the sum of Ten and No/100ths Dollars (\$10.00) and other valuable consideration, the receipt and sufficiency whereof are hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and does hereby grant, bargain, sell, alien, convey and confirm unto Grantee all those tracts or parcels of land lying and being in Cobb County, Georgia, being more particularly described on Exhibit "A" attached hereto and by this reference incorporated herein (hereinafter, the "Land"). Said property is conveyed subject to the permitted exceptions described on Exhibit "B" attached hereto and made a part hereof (the "Permitted Exceptions").

TO HAVE AND TO HOLD the Land, together with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoove of Grantee forever in FEE SIMPLE.

AND GRANTOR WILL WARRANT and forever defend the right and title to the Land unto Grantee against the claims of any persons owning, holding or claiming by, through or under Grantor.

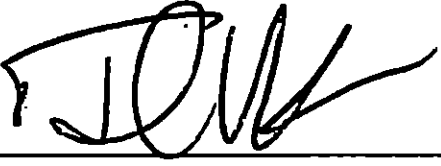
[Signatures contained on following page]

IN WITNESS WHEREOF, the said Grantor has signed and sealed this deed, as of the day and year above written.

GRANTOR:

Signed, sealed and delivered
in the presence of:

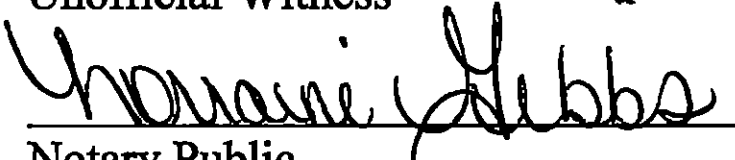
MONEY MANAGEMENT CONSULTANTS, LLC



By: 

Unofficial Witness

Name: Ann M. Goble



Title: Sole Member

Notary Public

My Commission Expires:

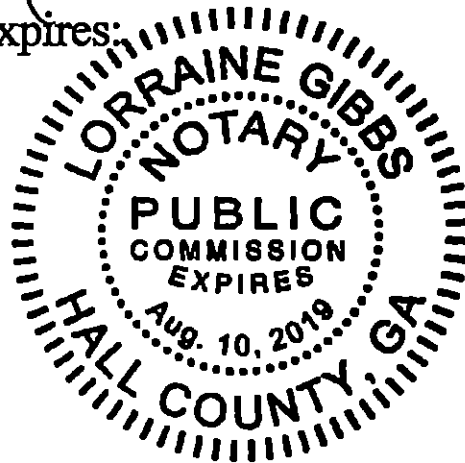


Exhibit "A"

All that tract or parcel of land, lying and being in Land Lot 725, 19th District, 2nd Section, Cobb County, Georgia, and being more particularly described as follows:

To find the point of beginning, COMMENCE at a ½-inch rebar found on the easterly right-of-way of New Macland Road (having an 80-foot right-of-way); said pin also being the northwest corner of lands owned by WCP Equities LLC per deed book 14934 page 3620 Cobb County Records; thence running along said right-of-way, North 02°03'07" West, 13.11 feet to a point; thence leaving said right-of-way and running, North 70°24'57" East, 165.00 feet to a point; thence, North 19°35'03" West, 50.00 feet to a point and the true POINT OF BEGINNING; Thence, North 70°24'57" East, 60.00 feet to a point; Thence, South 19°35'03" East, 60.00 feet to a point; Thence, South 70°24'57" West, 60.00 feet to a point; Thence, North 19°35'03" West, 60.00 feet to a point and the true POINT OF BEGINNING.

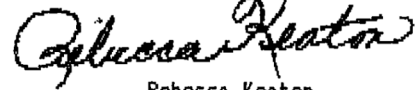
AG

Exhibit "B"
Permitted Exceptions

1. City, state and county ad valorem real property taxes and assessments not yet due and payable for the calendar year 2018 and subsequent years.
2. Engineering calculation and computing for the exact amount of acreage and/or square footage contained therein.
3. All matters shown on recorded plat filed in Plat Book 28, Page 67, recorded March 18, 1954, Cobb County, Georgia records.
4. Easement from Glen G. Brooks to Georgia Power Company, dated October 26, 1982, filed October 26, 1983, recorded in Deed Book 2685, Page 385, aforesaid records.
5. Permit for Anchors, Guy Poles and Wires from Glen G. Brooks, Jr. to Georgia Power Company, dated April 22, 1983, filed May 4, 1983, recorded in Deed Book 2747, Page 421, aforesaid records.
6. All matters which would be disclosed by an accurate and current survey and inspection of the Property.

AG

Deed Book 15504 Pg 4429
Filed and Recorded Dec-29-2017 11:55am
2017-0145349
Real Estate Transfer Tax \$0.00



Rebecca Keaton
Clerk of Superior Court Cobb Cty. Ga.

After recording, return to:

After recording please return to:
Trinity Title Insurance Agency, Inc.
P.O. Box 1828
Decatur, GA 30031-1828
TTIA file 64503.05

EASEMENT AGREEMENT

6/20

WHEREAS THIS EASEMENT AGREEMENT is made and entered into this the 21st day of December 2017 by and between MONEY MANAGEMENT CONSULTANTS, LLC, a Georgia limited liability company, (“Grantor”) and MC NEW MACLAND PROPERTIES, LLC, a Georgia limited liability company (“Grantee”).

WHEREAS, lying and being at 3215 New Macland Road, Powder Spring, in Cobb County, Georgia, tax parcel ID 19072500020, as more particularly described on Exhibit “A” attached hereto (“Property”);

WHEREAS, Grantor and Grantee entered into that certain Commercial Purchase and Sale Agreement dated February 10, 2017 (the “Purchase and Sale Agreement”), as amended, pursuant to which Grantee has purchased a portion of the Property from Grantor as of the date hereof (the “Purchased Property”);

WHEREAS, in furtherance of the terms of the Purchase and Sale Agreement, Grantor desires to grant Grantee a non-exclusive, perpetual easement from New Macland Road over, upon, across and through the certain property contained within the Property with all such easements being more particularly described on Exhibit “B” attached hereto and by this reference collectively incorporated herein (“Easement Property”); and

WHEREAS, Grantor and Grantee desire to memorialize and otherwise record this Easement Agreement in the public records of Cobb County, Georgia to provide notice to any third parties dealing with the Property with respect to Grantee's interest in same as set forth herein.

NOW, THEREFORE, for Ten and No/100 Dollars (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Grantor and Grantee agree as follows:

1. Recitals. The foregoing recitals are true and correct and are incorporated herein by this reference.

2. Grant. Grantor hereby grants to Grantee a perpetual and exclusive easement in favor of Grantee and appurtenant to the Property for the following: (i) twenty-four (24) hour per day, seven (7) day per week access in connection with pedestrian and vehicular ingress and egress access from over, upon, across and through the Easement Property to the Purchased Property as specified in Exhibit B; and (ii) utility easement over, upon, across, under and through the Easement Property to the Purchased Property, as specified in Exhibit B, for the purpose of constructing, operating and maintaining such electrical, fiber optic and other utility lines, wires, circuits, and conduits associated with a wireless communications tower to be constructed on the Purchased Property.

3. Use of Easement Property. At all times herein, Grantee shall use the Easement Property in such a way that same shall not unreasonably interfere with the normal and customary use of Grantor's Property by Grantor. In that regard, Grantee, at Grantee's expense, shall have all rights of ingress and egress over, upon, across and through the Easement Property (including the right from time to time, except as hereinafter provided, to cut, trim and remove trees, brush, overhanging branches and other obstructions located within or on property adjacent to the Easement Property) necessary for the Grantee's use, enjoyment, operation and maintenance of the easement hereby granted and all rights and privileges incident thereto.

4. Reservation by Grantor. Grantor reserves all rights of ownership in and to the Property which are not inconsistent with this Easement Agreement. Grantor further reserves the right to use the Easement Property for all uses not interfering with the use permitted Grantee hereunder.

5. Successors and Assigns. This Easement Agreement shall be binding upon and inure to the benefit of the parties hereto and their respective successors and assigns.

[GRANTOR AND GRANTEE SIGNATURES FOLLOW ON SUBSEQUENT PAGE]

IN WITNESS WHEREOF, this Easement Agreement has been executed by the parties hereto as of the day and year first written above.

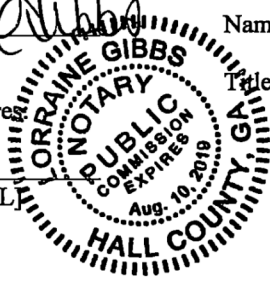
Signed, sealed and delivered in the presence of:

Witness

Notary Public

My Commission Expires:

[NOTARIAL SEAL]



GRANTOR:

MONEY MANAGEMENT CONSULTANTS, LLC, a Georgia limited liability company

By:

Name: ANN M. GOBLE

Title: SOLE MEMBER

Signed, sealed and delivered in the presence of:

Witness

Notary Public

My Commission Expires:

[NOTARIAL SEAL]

GRANTEE:

MC NEW MACLAND PROPERTIES, LLC, a Georgia limited liability company

By:

Peter R. Corry, Sr.

Title: CEO

IN WITNESS WHEREOF, this Easement Agreement has been executed by the parties hereto as of the day and year first written above.

Signed, sealed and delivered in the presence of:

Witness

Notary Public

My Commission Expires:

[NOTARIAL SEAL]

GRANTOR:
MONEY MANAGEMENT CONSULTANTS, LLC, a Georgia limited liability company

By: _____

Name: _____

Title: _____

Signed, sealed and delivered in the presence of:

Key Barnett

Witness

[Signature]

Notary Public

My Commission Expires:

3/27/2018

[NOTARIAL SEAL]

GRANTEE:
MC NEW MACLAND PROPERTIES, LLC, a Georgia limited liability company

By: *[Signature]*

Peter R. Corry, Sr.

Title: CEO

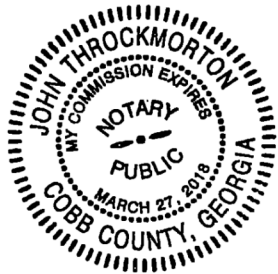


EXHIBIT "A"

PROPERTY

All that tract or parcel of land, lying and being in Land Lot 725, 19th District, 2nd Section, Cobb County, Georgia, and being more particularly described as follows:

To find the point of beginning, COMMENCE at a ½-inch rebar found on the easterly right-of-way of New Macland Road (having an 80-foot right-of-way); said pin also being the northwest corner of lands owned by WCP Equities LLC per deed book 14934 page 3620 Cobb County Records; thence running along said right-of-way, North 02°03'07" West, 13.11 feet to a point; thence leaving said right-of-way and running, North 70°24'57" East, 165.00 feet to a point; thence, North 19°35'03" West, 50.00 feet to a point and the true POINT OF BEGINNING; Thence, North 70°24'57" East, 60.00 feet to a point; Thence, South 19°35'03" East, 60.00 feet to a point; Thence, South 70°24'57" West, 60.00 feet to a point; Thence, North 19°35'03" West, 60.00 feet to a point and the true POINT OF BEGINNING.



EXHIBIT "B"
EASEMENT PROPERTY

Together with a proposed 20-foot wide ingress-egress and utility easement, lying and being in Land Lot 725, 19th District, 2nd Section, Cobb County, Georgia, and being more particularly described by the following centerline data:

To find the point of beginning, COMMENCE at a ½-inch rebar found on the easterly right-of-way of New Macland Road (having an 80-foot right-of-way); said pin also being the northwest corner of lands owned by WCP Equities LLC per deed book 14934 page 3620 Cobb County Records; thence running along said right-of-way, North 02°03'07" West, 13.11 feet to a point and the true POINT OF BEGINNING; Thence leaving said right-of-way and running, North 70°24'57" East, 165.00 feet to the ENDING at a point.

As shown in a survey prepared for Municipal Communications by POINT TO POINT LAND SURVEYORS, INC. dated January 4, 2017 and last revised December 18, 2017.

PREPARED FOR:



10300 OLD ALABAMA ROAD CONNECTOR
ALPHARETTA, GA 30022

SITE NAME:

COMMODORE

PROJECT DESCRIPTION

COLOCATION
MONOPOLE

TOWER OWNER: MUNICIPAL COMMUNICATIONS, LLC

PROJECT SUMMARY

SITE ADDRESS: 3215 NEW MACLAND ROAD
POWDER SPRINGS, GA. 30127

COUNTY: COBB

LATITUDE: 33° 52' 31.97"
LONGITUDE: -84° 40' 32.25"

ZONING JURISDICTION: CITY OF POWDER SPRINGS

TOWER OWNER: MUNICIPAL COMMUNICATIONS, LLC
3495 PIEDMONT RD NE, SUITE 441
ATLANTA, GA 30305

APPLICANT: VERIZON WIRELESS
10300 OLD ALABAMA ROAD CONN
ALPHARETTA, GA 30022

ENGINEER: TOWERSOURCE
1875 OLD ALABAMA ROAD,
ROSWELL, GA 30076
MATTHEW E. WATKINS, P.E.
GSWCC LEVEL: 0000058925

FIBER COMPANY: FIBER COMPANY AWARDED BY
VERIZON AT FUTURE TIME,
CONSULT CM

POWER COMPANY: GEORGIA POWER

SHEET INDEX

NO.	DESCRIPTION
T-1	TITLE SHEET
GN-1	GENERAL NOTES
C-1	COMPOUND SITE PLAN
C-1A	EQUIPMENT SITE PLAN
C-2	TOWER ELEVATION & ANTENNA MOUNT DETAILS
C-3	RF COLOR CODE
C-4	FOUNDATION DETAILS
C-5	EROSION CONTROL PLAN
C-5A	EROSION CONTROL DETAILS
C-6	ICE BRIDGE DETAILS
E-1	ONE-LINE DIAGRAM & ELECTRICAL NOTES
E-2	EQUIPMENT CONDUIT ROUTING PLAN
E-2A	ELECTRICAL SITE PLAN
E-2B	UTILITY ROUTING PLAN
E-3	GROUNDING NOTES
E-3A	EQUIPMENT GROUNDING PLAN
E-4	GROUNDING DETAILS
E-4A	GROUNDING DETAILS
E-4B	GROUNDING DETAILS
E-5	VZ UTILITY FRAME ELEVATION (FRONT)
E-6	VZ UTILITY FRAME ELEVATION (REAR)

PREPARED FOR:
verizon
10300 OLD ALABAMA ROAD CONNECTOR
ALPHARETTA, GA 30022

TOWER OWNER:
MUNICIPAL COMMUNICATIONS, LLC
MUNICIPAL COMMUNICATIONS, LLC
3495 PIEDMONT RD NE, SUITE 411
ATLANTA, GA 30305

A&E FIRM:
towersource
1875 OLD ALABAMA ROAD, SUITE 1008
ROSWELL, GA 30076
TEL: [REDACTED] FAX: [REDACTED]

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

A&E PROJECT #:	--
SITE LOCATION CODE:	--
DRAWN BY:	MYM
CHECKED BY:	MEW

REVISIONS		
NO.	DATE	DESCRIPTION
A	03/27/18	ISSUED FOR REVIEW
0	04/19/18	ISSUED FOR CONSTRUCTION

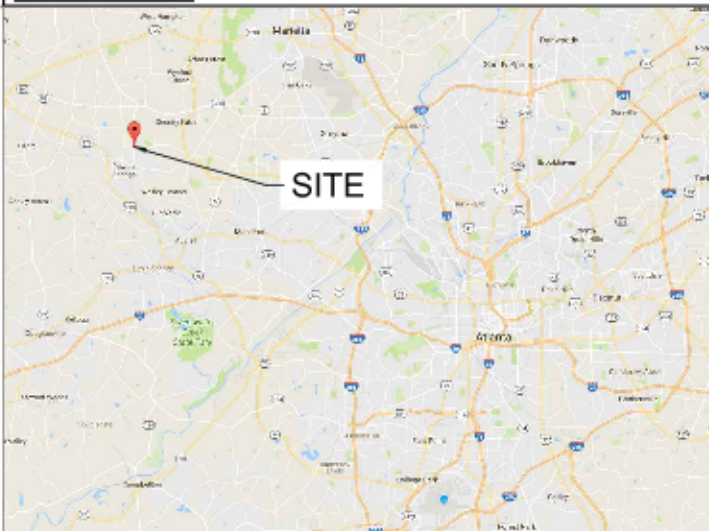
REVIEWED

By Dave Goetzcke at 12:15 pm, May 17, 2019

NOTE: Every effort has been made to identify code violations. Any oversight by the reviewer shall not be considered as authority to violate, set aside, cancel, or alter applicable codes or ordinances. The plan review and permit issuance shall not be considered a warranty or guarantee.

The applicable codes are the 2012 International Codes with the Georgia Amendments and the current electric code is the 2017 NEC.

VICINITY MAP



LOCATION MAP



DRIVING DIRECTIONS FROM VERIZON OFFICE AT 10300 OLD ALABAMA ROAD CONNECTOR:

- Turn left onto Old Alabama Rd Connector toward Mansell Exchange W 0.5 mi
- Turn left onto Mansell Rd 1.2 mi
- Take ramp left for US-19 S / GA-400 S 9.2 mi
- At exit 4B, take ramp right for I-285 West toward Birmingham / Chattanooga 6.1 mi
- At exit 20, take ramp right for I-75 North toward Chattanooga / Marietta 2.5 mi
- At exit 261, take ramp right for East Delk Rd toward Dobbins AFB / Lockheed 6.1 mi
- Turn right onto GA-5 S / Austell Rd SE 2.3 mi
- Turn right onto Windy Hill Rd SW 1.9 mi
- Keep straight onto GA-360 W / Macland Rd SW 4.1 mi
- Bear left onto New Macland Rd SW and site will be on the left



VERIZON WIRELESS SITE NAME:
COMMODORE

TOWER OWNERS SITE #:
MUNICIPAL COMMUNICATIONS, LLC

DESIGN TYPE:
COLOCATION

SHEET TITLE:
TITLE SHEET

DRAWING NO.	REVISION NO.	TS v.
T-1	0	3.01



Know what's below.
Call before you dig.

GENERAL NOTES:

- ALL CONSTRUCTION TO COMPLY WITH THE FOLLOWING CODES PLUS LATEST STATE AMENDMENTS:
 - International Building Code - 2012 Edition with 2014, 2015, 2017 & 2018 Georgia State Amendments
 - NFPA National Electrical Code - 2017 Edition
 - International Mechanical Code - 2012 Edition with 2014, 2015 & 2017 Georgia State Amendments
 - International Fuel Gas Code - 2012 Edition with 2014, 2015 & 2017 Georgia State Amendments
 - International Plumbing Code - 2012 Edition with 2014, 2015 & 2017 Georgia State Amendments
 - International Residential Code for One & Two Family Dwellings - 2012 Edition with 2014, 2015, 2017 & 2018 Georgia State Amendments
 - International Existing Building Code - 2012 Edition with 2015 & 2017 Georgia State Amendments
 - Building Code Requirements for Masonry Structures - ASCE 5 (Reference IBC for edition)
 - Building Code Requirements for Structural Concrete - ACI 318 (Reference IBC for edition)
 - International Energy Conservation Code - 2009 Edition with 2011, 2012 & 2017 Georgia State Amendments
 - Structural standards for steel antenna towers and antenna supporting structures - (TIA/EIA-222-G)
 - Georgia Erosion and Sedimentation Act of 1975, (Amended in 2003)
- CONTRACTOR IS TO COMPLY WITH THE REQUEST FOR QUOTATION (RFQ) AND CONSTRUCTION SPECIFICATIONS (LATEST REVISION) & BUILDING MANUFACTURER'S DRAWINGS, ALL PREVIOUSLY PROVIDED BY VERIZON WIRELESS.
- DIMENSIONS TO ALL EXISTING SITE FEATURES SHALL BE FIELD VERIFIED BY THE CONTRACTOR & ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES, PIPES, OR ANY OTHER SUBSURFACE STRUCTURES PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY LOCATING SERVICE 48 HRS PRIOR TO DIGGING, DRILLING, OR BLASTING.
- VERIZON'S CONSTRUCTION PROJECT MANAGER OR VERIZON'S REPRESENTATIVE SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT THE EXPRESSED WRITTEN APPROVAL OF VERIZON'S CONSTRUCTION PROJECT MANAGER OR VERIZON'S REPRESENTATIVE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL DRAWINGS & SPECIFICATIONS AND TO COORDINATE HIS WORK WITH THE WORK OF ALL OTHERS TO ENSURE THAT WORK PROGRESSION IS NOT INTERRUPTED.
- CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH THE PROPERTY OWNER AS TO AVOID ANY INTERRUPTIONS WITH THE PROPERTY OWNER'S OPERATIONS.
- CONTRACTOR SHALL KEEP THE PROJECT SITE FREE FROM ACCUMULATION OF WASTE MATERIALS & RUBBISH AT ALL TIMES DURING THE CONSTRUCTION PERIOD, & SHALL REMOVE ALL WASTE MATERIALS & RUBBISH FROM THE PROJECT SITE AT THE COMPLETION OF WORK, EXCEPT THOSE SPECIFICALLY REQUIRED BY THE CONTRACT DOCUMENTS TO BE LEFT FOR THE OWNER'S MAINTENANCE.
- THE CONTRACTOR SHALL RESTORE ALL PROPERTY TO IT'S PRE-CONSTRUCTION CONDITION TO THE OWNER'S SATISFACTION.
- THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY DISTURBED, DAMAGED, OR REMOVAL OF MONUMENTATION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR.
- DAMAGE TO EXISTING STRUCTURES & UTILITIES SHALL BE REPAIRED OR REPLACED TO OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE. MAINTAIN FLOW FOR ALL UTILITIES.
- ALL UTILITY CONNECTIONS TO EXISTING SYSTEMS SHALL BE COORDINATED WITH THE OWNER OR OWNER'S REPRESENTATIVE AND THE UTILITY COMPANY PRIOR TO EACH CONNECTION.
- UNLESS OTHERWISE INDICATED, VERIZON SHALL OBTAIN & PROVIDE CONSTRUCTION PERMITS. THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL REQUIRED LOCAL, CITY, STATE AND/OR COUNTY CONSTRUCTION LICENSES. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL APPLY FOR & PROVIDE A CERTIFICATE OF OCCUPANCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND THE MAINTENANCE OF SURFACE FOR CONSTRUCTION.
- CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, & FEDERAL REGULATIONS.
- CONSTRUCTION WASTE MAY NEITHER BE BURNED NOR BURIED AND MUST BE TAKEN TO AN APPROVED LANDFILL.
- SECURITY TO THE SITE SHALL BE MAINTAINED AT ALL TIMES.
- NOTIFY THE LESSEE'S REPRESENTATIVES TWENTY-FOUR HOURS PRIOR TO CONSTRUCTION TO ALLOW THE LESSEE'S REPRESENTATIVES TO LOOK AT THE SITE PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL INCLUDE ALL WORK REQUIRED TO CO-LOCATE ON THE EXISTING TOWER INCLUDING ALL NECESSARY SITE IMPROVEMENTS, FOUNDATIONS, ELECTRICAL IMPROVEMENTS, SNAP INS, H-FRAME, AND OTHER ACCESSORIES FOR COMPLETE INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF THE FOLLOWING EQUIPMENT THAT WILL BE SUPPLIED BY THE LESSEE: ANTENNAS, COAX CABLES, AND EQUIPMENT CABINETS/SHELTER. THE EQUIPMENT CABINETS SHALL BE TRANSPORTED TO THE SITE BY THE CONTRACTOR.
- CONTRACTOR TO NOTIFY THE LESSEE'S TESTING REPRESENTATIVE FORTY-EIGHT HOURS BEFORE CONCRETE POURS.
- COMPOUND AND PARKING/TURNAROUND AREA SHOULD CONSIST OF GEOTECH FABRIC COVERED BY 4" OF CRUSH & RUN WITH 2" OF #57 STONE ON TOP. ROLLER COMPACTED.
- FOR GREENFIELD/NEW TOWERS SITES, CONTRACTOR IS RESPONSIBLE FOR ENSURING THE TOWER LIGHTS ARE MONITORED MORNING AND NIGHT EACH 24 HRS FROM THE TIME THE TOWER IS TOPPED OUT UNTIL SITE HAS ALARMS CONNECTED TO THE OPERATIONS SWITCH OR NOC. CONTRACTOR TO NOTIFY PROJECT MANAGER AT THE TIME THE TOWER IS TOPPED OUT TO FORWARD NOTIFICATION TO VERIZON REGULATORY AND FCC/FAA.

STRUCTURAL STEEL NOTES:

- STRUCTURAL STEEL DETAILING, FABRICATION, AND ERECTION SHALL BE DONE IN ACCORDANCE WITH THE AISC MANUAL OF STEEL CONSTRUCTION (AISC 360-10). ALL CONNECTIONS SHALL BE SHOP WELDED AND FIELD BOLTED EXCEPT AS NOTED ON DRAWINGS. ALL WELDING SHALL BE DONE WITH E70XX ELECTRODES.
- ALL EXTERIOR STRUCTURAL STEEL SHALL BE GALVANIZED IN ACCORDANCE WITH THE SPECIFICATION ASTM A123 UNLESS OTHERWISE NOTED. GALVANIZING SHALL BE PERFORMED AFTER SHOP FABRICATION TO THE GREATEST EXTENT POSSIBLE. ALL DINGS, SCRAPES, MARS, & WELDS SHALL BE REPAIRED BY FIELD TOUCH-UP PRIOR TO COMPLETION OF THE WORK.
- HOLES SHALL NOT BE PLACED THROUGH STRUCTURAL STEEL MEMBERS EXCEPT AS SHOWN AND DETAILED ON THE DRAWINGS.
- ALL DINGS, SCRAPES, MARS, AND WELDS SHALL BE COATED WITH SHERWIN WILLIAMS "ZINC CLAD IV" APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- CONNECTIONS:
 - ALL WELDING SHALL BE DONE USING E70XX ELECTRODES AND SHALL CONFORM TO AISC AND AWS D1.1. WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "MANUAL OF STEEL CONSTRUCTION", 13th EDITION. AT THE COMPLETION OF WELDING, ALL DAMAGE TO GALVANIZED COATING SHALL BE REPAIRED.
 - BOLTED CONNECTIONS SHALL USE BEARING TYPE GALVANIZED ASTM A325 BOLTS (3/4") AND SHALL HAVE A MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.
 - NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" DIA GALVANIZED ASTM A307 BOLTS UNLESS NOTED OTHERWISE.
 - CONNECTION DESIGN BY FABRICATOR WILL BE SUBJECT TO REVIEW AND APPROVAL BY ENGINEER
- STEEL SHAPE:
 - W SHAPES - ASTM A992, GR 50
 - PLATES, ANGLES, CHANNELS - ASTM A36
 - PIPES - A53 GR B

ANTENNA NOTES:

- AFTER ANTENNA INSTALLATION, LABEL EACH COAXIAL CABLE LINE WITH STRIPS OF COLORED, UV RESISTANT TAPE AT BOTH ENDS OF EVERY LINE. IDENTIFICATION TAPE AS SHOWN ON TOWER ELEVATION PAGE.
- TEST ALL COMPONENTS UPON COMPLETION OF INSTALLATION TO ENSURE THAT ALL ITEMS HAVE BEEN PROPERLY INSTALLED AND ARE OPERATIONAL AS INTENDED.
- TEST CRITERIA:
 - ALL CABLES SHALL BE TESTED BETWEEN 700-1900 MHZ.
 - ALL ANTENNAS MUST MEET A RETURN LOSS OF 16dB OR BETTER.
 - ALL INSERTION LOSS SHALL MEET OR BE LESS THAN THAT SPECIFIED ON THE EBTS WORKSHEET.
- EQUIPMENT REQUIRED - MINIMUM TEST EQUIPMENT SHALL INCLUDE:
 - SWEPT-FREQUENCY SCALAR NETWORK ANALYZER SYSTEM.
 - SIGNAL SEPARATION DEVICE WITH A DIRECTIVITY OF AT LEAST 40dB BETTER THAN THE HIGHEST RETURN LOSS IT IS REQUIRED TO MEASURE.
 - PRINTER OR PLOTTER CAPABLE OF PRODUCING 8.5"x11" COPIES (DIGITAL PRINTERS UNACCEPTABLE) FOR RECORDING PERMANENT RECORD OF MEASURED RETURN LOSS & INSERTION LOSS AND INSERTION CHARACTERISTICS. A TIME DOMAIN REFLECTOMETER (TDR) FOR FAULT LOCATION.
- TESTS REQUIRED:
 - CABLE RETURN LOSS (INCLUDES TOP & BOTTOM JUMPERS).
 - LOAD TEST; SHOULD BE -40dB OR BETTER.
 - CABLE INSERTION LOSS - MUST MEET OR BE LESS THAN THE MANUFACTURER'S PUBLISHED SPECIFICATIONS.
 - SYSTEM RETURN LOSS - IF SYSTEM SWEEPS BETTER THAN LOAD, THERE IS A PROBLEM IN THE SYSTEM.
- TEST DOCUMENTATION:
 - THE FOLLOWING DATA MUST BE INCLUDED FOR EACH ANTENNA TESTED:
 - INSERTION LOSS DATA.
 - RETURN LOSS INTO 50ohm LOAD, SWEEP MEASUREMENTS.
 - RETURN LOSS INTO ANTENNA SWEEP MEASUREMENTS.
 - DOCUMENTATION FORMAT:
 - COPIES OF ALL TEST DATA MUST BE PLACED IN BINDERS.
 - PROVIDE TWO (2) COPIES OF ALL TEST DATA, ONE COPY TO REMAIN AT SITE & ONE COPY FOR THE VERIZON PROJECT MANAGER.
 - ALL TESTS MUST BE LOGGED AND DATED.
 - SWEEP MEASUREMENTS MUST BE CHART RECORDED & DATED.

EXISTING		NEW		LEGEND	
X 100.5	SPOT ELEVATION	712.9	SPOT ELEVATION	— OHT —	OVERHEAD TELEPHONE
— 276 —	CONTOUR LINE	— 98 —	CONTOUR LINE	— UGF —	UNDERGROUND FIBER
— SD —	STORM DRAIN	— SD —	STORM DRAIN	— OHP —	OVERHEAD POWER
— RW —	CATCH BASIN			— UGP —	UNDERGROUND POWER
	RIGHT OF WAY			⊙	UTILITY POLE
	IRON PIN SET (IPS) 5/8"			⊙	LIGHT POLE
⊙	REBAR			— WL —	WATER LINE
⊙	IRON PIN FOUND (IRP)			⊗	WATER VALVE
⊙	BENCHMARK			— NG —	NATURAL GAS LINE
□	CONCRETE MON. FOUND			⊗	GAS VALVE
■	CONCRETE MON. SET			— SAN —	SANITARY SEWER
				⊙	MANHOLE
				— — —	CENTERLINE

NOTE: THIS IS A GENERAL LEGEND. SOME ITEMS MAY NOT APPLY TO THIS SITE.

CONCRETE NOTES:

- DESIGN & CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITION OF THE FOLLOWING APPLICABLE CODES: ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"; ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
- MIX DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLACING CONCRETE.
- CONCRETE SHALL BE NORMAL WEIGHT, 6% AIR ENTRAINED (±1.5%) WITH A MAXIMUM 4" SLUMP AND A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI UNLESS NOTED OTHERWISE.
- CONCRETE MATERIALS:

PORTLAND CEMENT	ASTM C 150, TYPE I OR II
NORMAL WEIGHT AGGREGATE	ATSM C 33
WATER	POTABLE
ADMIXTURES	NON-CHLORIDE
- REINFORCING DETAILS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 315.
- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, DEFORMED, UNLESS NOTED OTHERWISE. WWF SHALL CONFORM TO ASTM A185 UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B" AND HOOKS SHALL BE ASTM STANDARD UNLESS NOTED OTHERWISE.
- MINIMUM COVER FOR REINFORCING STEEL:

CONCRETE CAST AGAINST EARTH	3 IN
EXPOSED CONCRETE	#6 & LARGER - 2 IN, #5 & SMALLER - 1 1/2 IN
- A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE IN ACCORDANCE WITH ACI 301, SECTION 4.2.4.
- INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR SHALL BE PER MANUFACTURER'S RECOMMENDATIONS. NO REINFORCING SHALL BE CUT WITHOUT ENGINEER'S APPROVAL.
- CURING COMPOUNDS SHALL CONFORM TO ASTM C 309.
- ADMIXTURES SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN ACI 301.
- DO NOT WELD OR TACK WELD REINFORCING STEEL.
- ALL PENETRATIONS SHALL BE IN PLACE PRIOR TO CONCRETE PLACEMENT.
- REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
- CONCRETE SHALL NOT BE PLACED IN WATER, ICE, OR ON FROZEN GROUND.
- DO NOT ALLOW CONCRETE SUBBASE TO FREEZE DURING CONCRETE CURING AND SETTING PERIOD.
- FOR COLD WEATHER & HOT WEATHER PLACEMENT, CONFORM TO APPLICABLE ACI CODES AND RECOMMENDATIONS.
- LOOSE MATERIAL SHALL BE REMOVED FROM THE BOTTOM OF EXCAVATION PRIOR TO CONCRETE PLACEMENT.
- CONCRETE SHALL BE PLACED IN A MANNER THAT WILL PREVENT SEGREGATION OF CONCRETE MATERIALS, INFILTRATION OF WATER OR SOIL, AND OTHER OCCURRENCES WHICH MAY DECREASE THE STRENGTH OR DURABILITY OF THE FOUNDATION.
- CONCRETE SHALL BE PLACED AGAINST UNDISTURBED SOLID. WHEN FORMS ARE NECESSARY, THEY SHALL BE REMOVED PRIOR TO PLACING STRUCTURAL BACKFILL.
- FOUNDATION DESIGN ASSUMES CONTINUOUS CONCRETE PLACEMENT WITHOUT CONSTRUCTION COLD JOINT ARE UNACCEPTABLE.
- WELDED WIRE FABRIC SHALL BE SUPPLIED IN FLAT SHEETS, (NOT ROLLED).
- TEST CYLINDERS SHALL BE MOLDED AND LABORATORY CURED IN ACCORDANCE WITH ASTM C31. THREE CYLINDERS SHALL BE TAKEN FOR EACH DAY'S CONCRETE PLACEMENT. CYLINDERS SHALL BE TESTED IN ACCORDANCE WITH ASTM C39.
- TOPS OF CONCRETE FOUNDATION MUST BE WITHIN 0.02" OF ELEVATION SPECIFIED BY THE CUSTOMER

FOUNDATION NOTES:

- STRUCTURAL BACKFILL SHALL BE PLACED IN 8 INCH MAXIMUM LAYERS TO 95% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D698. ALL FILL AREAS SHALL BE CLEARED AND STRIPPED OF ORGANIC MATTER.
- FOUNDATION DESIGN ASSUMES FIELD INSPECTIONS WILL BE PERFORMED TO VERIFY THAT CONSTRUCTION MATERIALS, INSTALLATION METHODS, AND ASSUMED DESIGN PARAMETERS ARE ACCEPTABLE BASED ON CONDITIONS EXISTING AT THE SITE.

GENERATOR, DIESEL & LPG TANK NOTES:

- INSTALLATION OF ALL GENERATORS AND DIESEL/LPG TANK INSIDE OR OUTSIDE MUST MEET ALL APPLICABLE NFPA CURRENT CODES.
- ALL FUEL PIPING CONNECTION INSTALLED AT THE SITE MUST BE PRESSURE TESTED PER LOCAL CODE REQUIREMENTS BEFORE STARTING OF GENERATOR.
- IN FLOOD ZONES LPG TANK FOUNDATION MUST BE INCREASED FROM A DEPTH OF 4" TO 20" TO PREVENT TANK FROM FLOATING AWAY IN A FLOOD.

— X —	FENCE	— LCO —	LIMITS OF DISTURBANCE
— — —	PROPERTY LINE / ROW	⊙	CIRCUIT BREAKER
— — —	LEASE AREA	⊙	CODED NOTE NUMBER
— — —	EASEMENT	⊙	CHEMICAL GROUND ROD
⊙	DISCONNECT SWITCH	⊙	GROUND ROD
⊙	METER	⊙	GROUND ROD WITH INSPECTION SLEEVE
⊙	GROUND WIRE	⊙	CADWELD TYPE CONNECTION
⊙	COMPRESSION TYPE CONNECTION		



TOWER OWNER:
MUNICIPAL COMMUNICATIONS, LLC
 MUNICIPAL COMMUNICATIONS, LLC
 3495 PIEDMONT RD NE, SUITE 411
 ATLANTA, GA 30305

A&E FIRM:

 1875 OLD ALABAMA ROAD, SUITE 1008
 ROSWELL, GA 30076
 TEL: [REDACTED] FAX: [REDACTED]

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CHECKED BY:	MEW

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VERIZON WIRELESS SITE NAME:
COMMODORE
 TOWER OWNERS SITE #:
 MUNICIPAL COMMUNICATIONS, LLC

DESIGN TYPE:
COLOCATION

SHEET TITLE:
GENERAL NOTES

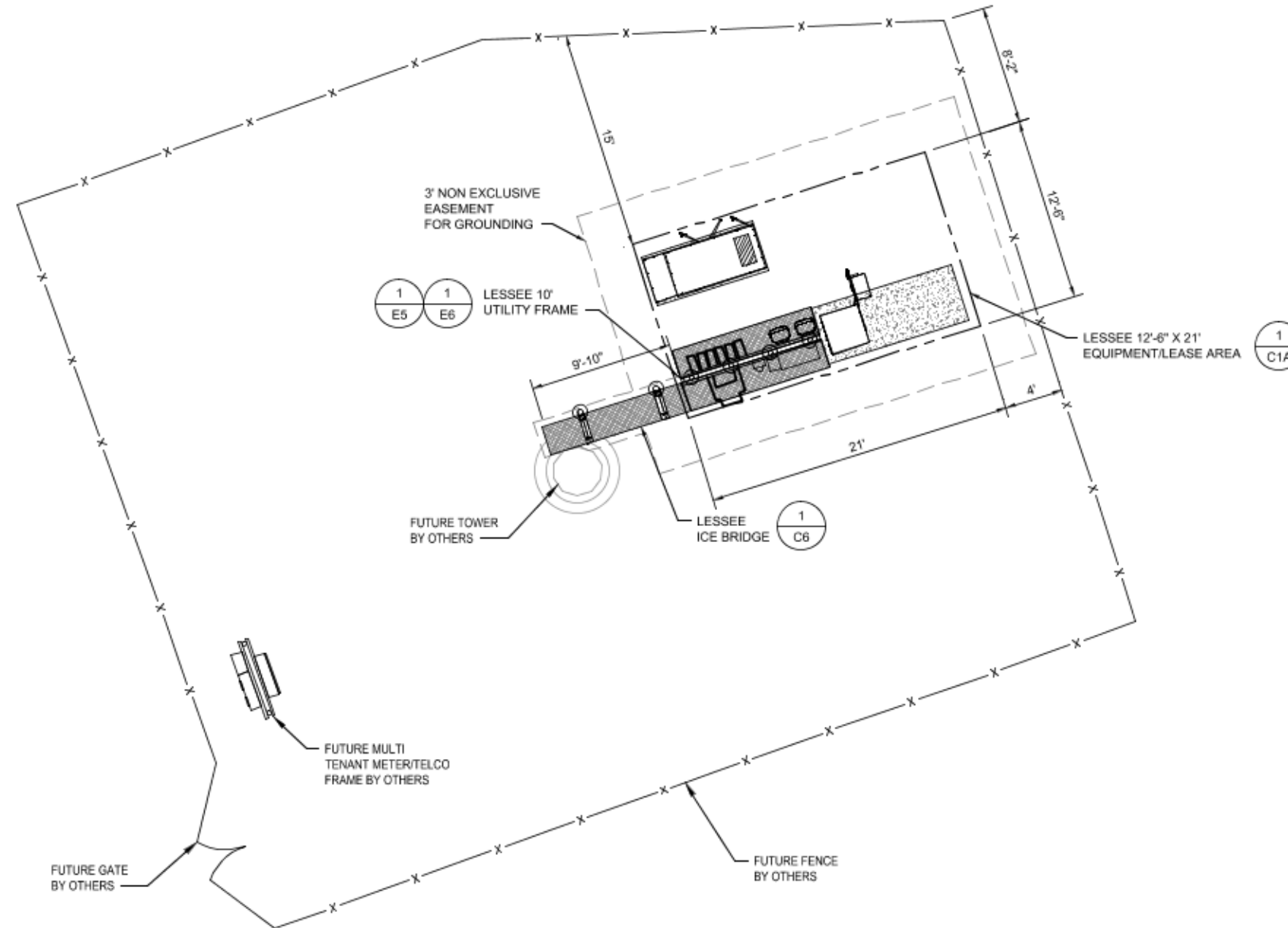
DRAWING NO.	REVISION NO.	TS v.
GN-1	0	3.01

REVIEWED
 By Dave Goetzcke at 12:17 pm, May 17, 2019

NOTE: THE TOWER/COMPOUND HAD NOT BEEN CONSTRUCTED AT THE TIME THE LE WAS ISSUED. ALL FUTURE EQUIPMENT IS SHOWN PER CD'S DATED 02-09-18 PROVIDED BY THE TOWER OWNER.

REVIEWED

By Dave Goetzcke at 12:17 pm, May 17, 2019



PREPARED FOR:
verizon
 10300 OLD ALABAMA ROAD CONNECTOR
 ALPHARETTA, GA 30022

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VERIZON WIRELESS SITE NAME:
COMMODORE

TOWER OWNERS SITE #:
 MUNICIPAL COMMUNICATIONS, LLC

DESIGN TYPE:
COLOCATION

SHEET TITLE:
COMPOUND SITE PLAN

DRAWING NO. C-1	REVISION NO. 0	TS v. 3.01
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GRAPHIC SCALE



SCALE: 1" = 10'-0"

COMPOUND SITE PLAN

SCALE: 1" = 10'-0"

TOWER OWNER:
MUNICIPAL COMMUNICATIONS, LLC
 MUNICIPAL COMMUNICATIONS, LLC
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 ATLANTA, GA 30305

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REVISIONS		
NO.	DATE	DESCRIPTION
A	03/27/18	ISSUED FOR REVIEW
0	04/19/18	ISSUED FOR CONSTRUCTION

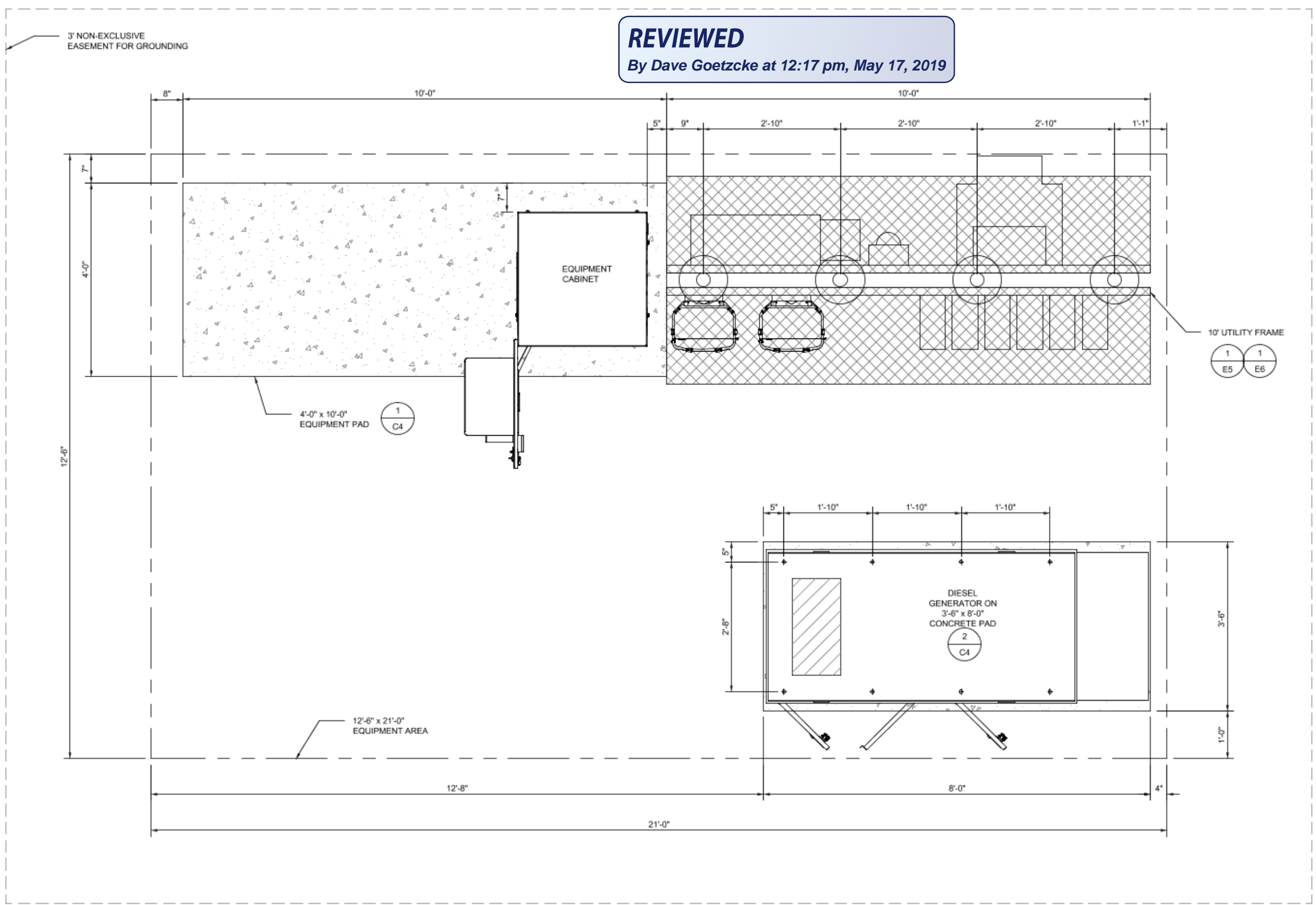


VERIZON WIRELESS SITE NAME:
COMMODORE
 TOWER OWNERS SITE #:
 MUNICIPAL COMMUNICATIONS, LLC
 DESIGN TYPE:
COLOCATION

SHEET TITLE:
EQUIPMENT SITE PLAN

DRAWING NO.	REVISION NO.	TS v.
C-1A	0	3.01

REVIEWED
 By Dave Goetzcke at 12:17 pm, May 17, 2019



EQUIPMENT SITE PLAN
 SCALE: 1" = 2'-0"

TOWER OWNER:
MUNICIPAL COMMUNICATIONS, LLC
 MUNICIPAL COMMUNICATIONS, LLC
 3495 PIEDMONT RD NE, SUITE 411
 ATLANTA, GA 30305

A&E FIRM:
towersource
 1875 OLD ALABAMA ROAD, SUITE 1008
 ROSWELL, GA 30076
 TEL: [REDACTED] FAX: [REDACTED]

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

A&E PROJECT #:	--
SITE LOCATION CODE:	--
DRAWN BY:	MYM
CHECKED BY:	MEW

REVISIONS		
NO.	DATE	DESCRIPTION
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0	04/19/18	ISSUED FOR CONSTRUCTION



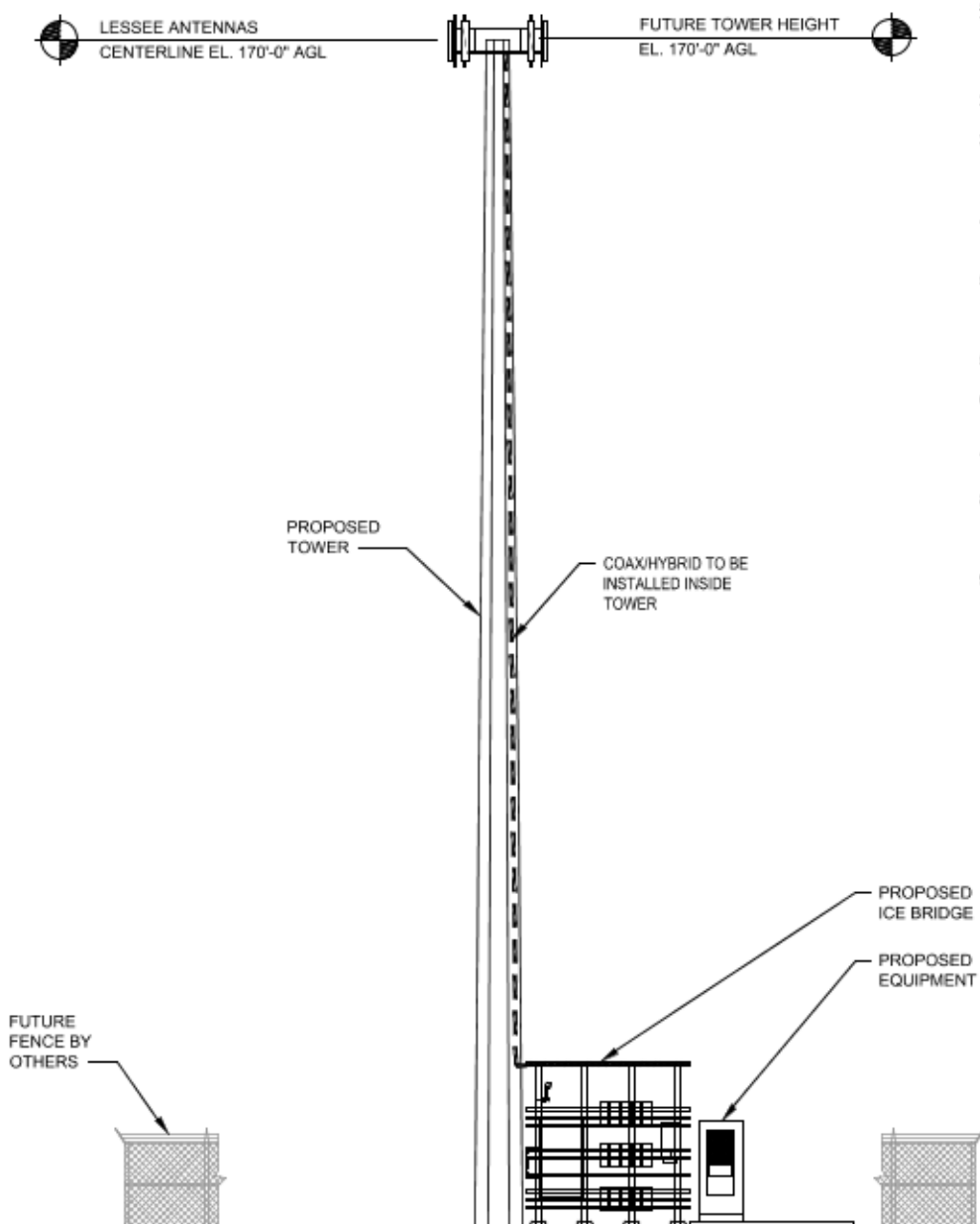
VERIZON WIRELESS SITE NAME:
COMMODORE
 TOWER OWNERS SITE #:
 MUNICIPAL COMMUNICATIONS, LLC
 DESIGN TYPE:
COLOCATION

SHEET TITLE:
TOWER ELEVATION & ANTENNA MOUNT DETAILS

DRAWING NO.	REVISION NO.	TS v.
C-2	0	3.01

REVIEWED

By Dave Goetzcke at 12:17 pm, May 17, 2019



1
 TOWER ELEVATION
 NOT TO SCALE

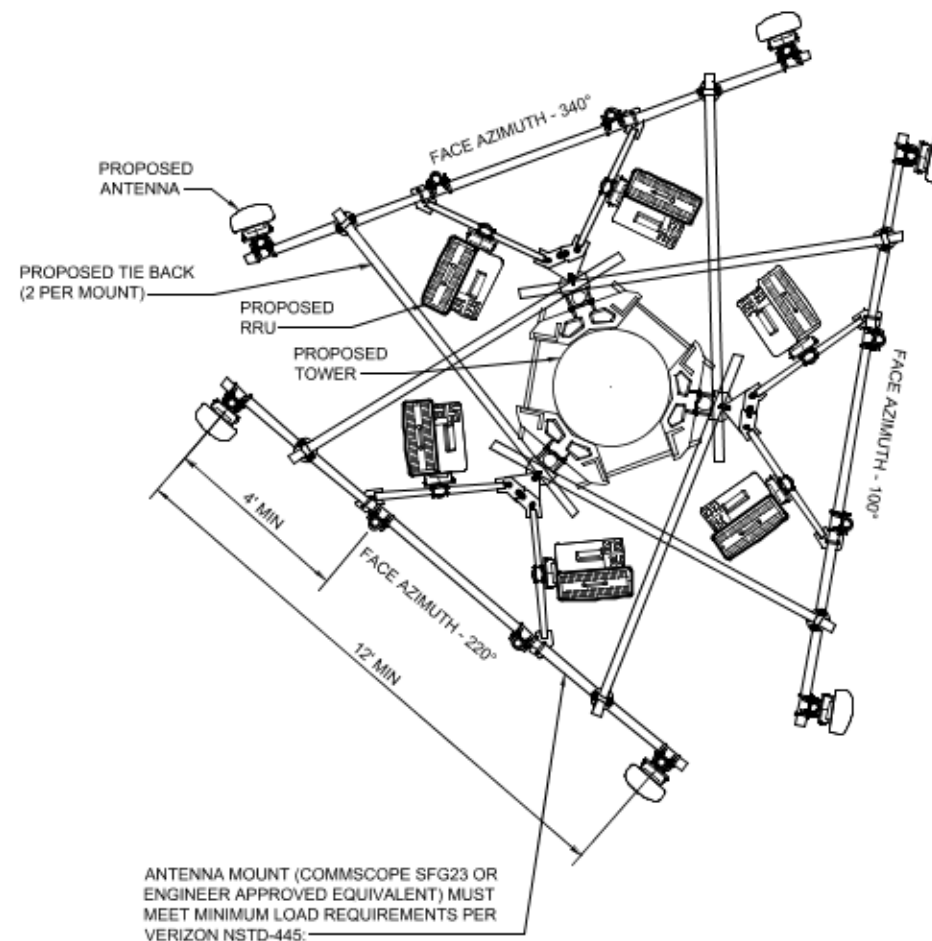
- NOTE:
1. TOWER AND FOUNDATION DESIGN / CHECK PERFORMED BY OTHERS.
 2. THIS CONSTRUCTION DOCUMENT MUST BE ACCOMPANIED BY A SEALED & SIGNED STRUCTURAL ASSESSMENT/ANALYSIS REVIEW MADE BY A LICENSED ENGINEER.
 3. CONTRACTOR TO REFER TO ORIGINAL TOWER DESIGN DRAWINGS, COMPLETED BY OTHERS, FOR TOWER DETAILS.

ANTENNA MOUNT NOTES:

1. COLOCATION ONLY - CONTRACTOR TO ORDER ANTENNA MOUNT THAT MEETS REQUIRED SPECS. CONTRACTOR MUST GET A CERTIFICATION FROM THE MOUNT MANUFACTURER AND INCLUDE A COPY IN THE CLOSEOUT PACKAGE.
2. ALL MOUNTS MUST HAVE TWO TIE BACKS.
3. CONTRACTOR SHALL INSTALL THE MOUNT, TIE-BACKS, AND OTHER ASSOCIATED HARDWARE ACCORDING TO THE MOUNT MANUFACTURER'S SPECIFICATIONS.
4. CONTRACTOR SHALL NOT SUBSTITUTE ALUMINUM, UNITSTRUT, OR OTHER MATERIALS IN PLACE OF A PRE-ENGINEERED MOUNT.
5. ANTENNAS, RRU'S, ETC., SHALL BE PLACED SO THAT THE CENTER OF ANTENNA AND THE CENTER OF THE MOUNT ARE THE SAME, UNLESS SPECIFICALLY ALLOWED BY THE MANUFACTURER.
5. VERIFY AZIMUTH BEFORE INSTALLATION WITH RF WORKSHEET.
6. ALL COAX SHALL BE LABELED AT TOP OF TOWER AND AT JUMPER CONNECTION AT BOTTOM OF THE TOWER WITH COLOR CODED TAPE.
7. REFER TO STRUCTURAL ANALYSIS OF TOWER FOR COAX ROUTING.
8. RF INFO SHOWN IS PROVIDED BY VERIZON, CONTRACTOR TO VERIFY LATEST RF DESIGN AND STRUCTURAL ANALYSIS/MOUNT CERT. MATCH PRIOR TO CONSTRUCTION.
9. ANTENNA MOUNT SHOWN IS SCHEMATIC IN NATURE. INSTALL SECTOR MOUNTS WITH ENOUGH STAND-OFF FROM TOWER SO THAT SECTORS DO NOT OVERLAP.

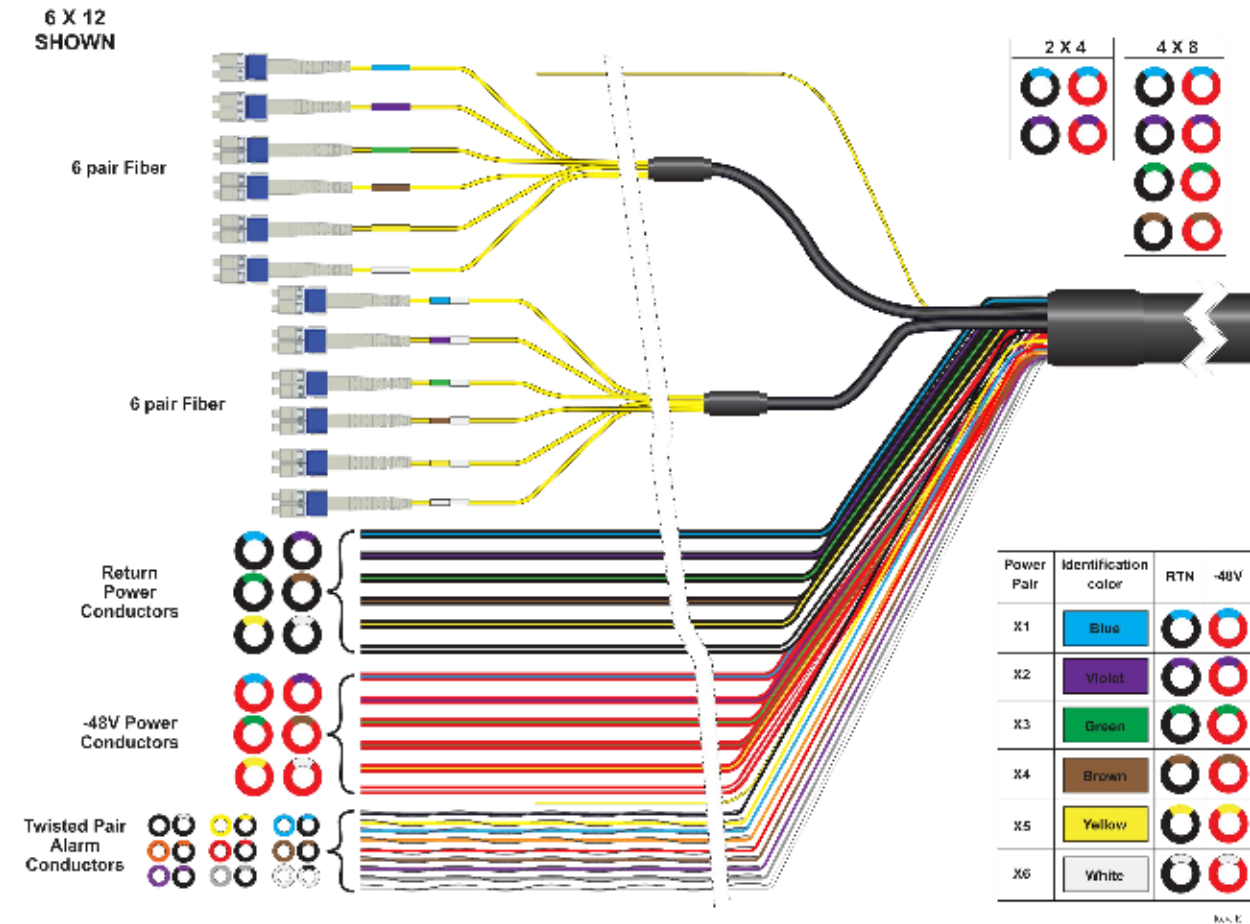
MOUNT CLASSIFICATIONS		
MAXIMUM DESIGN WIND SPEED (mph)		MINIMUM REQUIRED MOUNT CLASSIFICATION
TIA-222-G (50-YEAR RETURN)	FACTORED ASCE 7-10 (100-YEAR RETURN)	
85	108	M700RF214 (R)
90	114	M750RF214 (R)
110	139	M1100RF214 (R)
130	166	M1500RF214 (R)
150	190	M2000RF214 (R)

MAXIMUM DESIGN ICE THICKNESS (INCHES)		VERTICAL ICE LOAD (F _{2i}) (POUNDS)
TIA-222-G (50-YEAR RETURN)	FACTORED ASCE 7-10 (100-YEAR RETURN)	
≤ 0.25	≤ 0.50	0
0.50	1.00	600
0.75	1.50	800
1.00	2.00	1100
1.25	2.50	1350



2
 ANTENNA ORIENTATION DETAIL
 NOT TO SCALE





Based on the following national standard: ANSI/TIA/EIA 598-A, Optical Fiber Cable Color Coding

FIBER COLOR CODE (CONTACT CM FOR COLOR COPY)

System Line Length (ft)	750 MHz						850 MHz					
	RL-SYSTEM		RL-SHORT		RL-LOAD		RL-SYSTEM		RL-SHORT		RL-LOAD	
	10'	15'	20'	25'	30'	35'	40'	45'	50'	55'	60'	
100'	-1.7	-1.6	-1.6	-1.7	-1.6	-1.7	-1.7	-1.6	-1.6	-1.6	-1.7	-1.7
150'	-1.8	-1.7	-1.7	-1.8	-1.7	-1.8	-1.8	-1.7	-1.7	-1.7	-1.8	-1.8
200'	-1.9	-1.8	-1.8	-1.9	-1.8	-1.9	-1.9	-1.8	-1.8	-1.8	-1.9	-1.9
250'	-2.0	-1.9	-1.9	-2.0	-1.9	-2.0	-2.0	-1.9	-1.9	-1.9	-2.0	-2.0
300'	-2.1	-2.0	-2.0	-2.1	-2.0	-2.1	-2.1	-2.0	-2.0	-2.0	-2.1	-2.1
350'	-2.2	-2.1	-2.1	-2.2	-2.1	-2.2	-2.2	-2.1	-2.1	-2.1	-2.2	-2.2
400'	-2.3	-2.2	-2.2	-2.3	-2.2	-2.3	-2.3	-2.2	-2.2	-2.2	-2.3	-2.3

System Line Length (ft)	1900 MHz						2200 MHz					
	RL-SYSTEM		RL-SHORT		RL-LOAD		RL-SYSTEM		RL-SHORT		RL-LOAD	
	10'	15'	20'	25'	30'	35'	40'	45'	50'	55'	60'	
100'	-1.7	-1.6	-1.6	-1.7	-1.6	-1.7	-1.7	-1.6	-1.6	-1.6	-1.7	-1.7
150'	-1.8	-1.7	-1.7	-1.8	-1.7	-1.8	-1.8	-1.7	-1.7	-1.7	-1.8	-1.8
200'	-1.9	-1.8	-1.8	-1.9	-1.8	-1.9	-1.9	-1.8	-1.8	-1.8	-1.9	-1.9
250'	-2.0	-1.9	-1.9	-2.0	-1.9	-2.0	-2.0	-1.9	-1.9	-1.9	-2.0	-2.0
300'	-2.1	-2.0	-2.0	-2.1	-2.0	-2.1	-2.1	-2.0	-2.0	-2.0	-2.1	-2.1
350'	-2.2	-2.1	-2.1	-2.2	-2.1	-2.2	-2.2	-2.1	-2.1	-2.1	-2.2	-2.2
400'	-2.3	-2.2	-2.2	-2.3	-2.2	-2.3	-2.3	-2.2	-2.2	-2.2	-2.3	-2.3

THE TABLE ABOVE IS THE MINIMUM THAT OPERATIONS IS REQUIRED TO PROVIDE DURING A COMPLETE SYSTEM RETURN LOSS TEST (I.E. WITH IN-LINE DUPLEXERS, DIPLEXERS, SURGE ARRESTORS, ETC.) THE VALUES WITHIN THIS TABLE ARE CONSIDERED PASS VALUES FOR A NEW OR EXISTING SYSTEM, GENERAL CONTRACTOR- BASED ON THESE TABLES, GC IS REQUIRED TO PROVIDE A SYSTEM SWEEP FROM THE CONNECTOR AT THE HATCH PLATE WITH A READING OF -20dB OR BETTER, TO ALLOW OPERATIONS TO GET THEIR REQUIRED READINGS.

FOR DTF TESTING WITH LOAD TERMINATION ON NEW OR EXISTING COAX/CONNECTORS:
 PASS CRITERIA FOR MAIN FEED LINE (MFL) OR ANY JUMPER -40 dB OR BETTER
 PASS CRITERIA FOR DIN AND MFL CONNECTORS -30 dB OR BETTER
 PASS CRITERIA FOR N CONNECTORS -27.5 dB OR BETTER

REVIEWED
 By Dave Goetzcke at 12:17 pm, May 17, 2019



TOWER OWNER:
MUNICIPAL COMMUNICATIONS, LLC
 MUNICIPAL COMMUNICATIONS, LLC
 3495 PIEDMONT RD NE, SUITE 411
 ATLANTA, GA 30305

A&E FIRM:

 1875 OLD ALABAMA ROAD, SUITE 1008
 ROSWELL, GA 30076
 TEL: [REDACTED] FAX: [REDACTED]

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A&E PROJECT #: --
 SITE LOCATION CODE: --
 DRAWN BY: MYM
 CHECKED BY: MEW

REVISIONS		
NO.	DATE	DESCRIPTION
A	03/27/18	ISSUED FOR REVIEW
B	04/19/18	ISSUED FOR CONSTRUCTION



VERIZON WIRELESS SITE NAME:
COMMODORE
 TOWER OWNER SITE #:
 MUNICIPAL COMMUNICATIONS, LLC
 DESIGN TYPE:
COLOCATION
 SHEET TITLE:
RF COLOR CODE
 DRAWING NO. **C-3** REVISION NO. **0** TS v. **3.01**

TOWER OWNER:

MUNICIPAL COMMUNICATIONS, LLC

MUNICIPAL COMMUNICATIONS, LLC
 3495 PIEDMONT RD NE, SUITE 411
 ATLANTA, GA 30305

A&E FIRM:

towersource

1875 OLD ALABAMA ROAD, SUITE 1008
 ROSWELL, GA 30076
 TEL: [REDACTED] FAX: [REDACTED]

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SITE LOCATION CODE:	--
DRAWN BY:	MYM
CHECKED BY:	MEW

REVISIONS

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VERIZON WIRELESS SITE NAME:

COMMODORE

TOWER OWNER SITE #:

MUNICIPAL COMMUNICATIONS, LLC

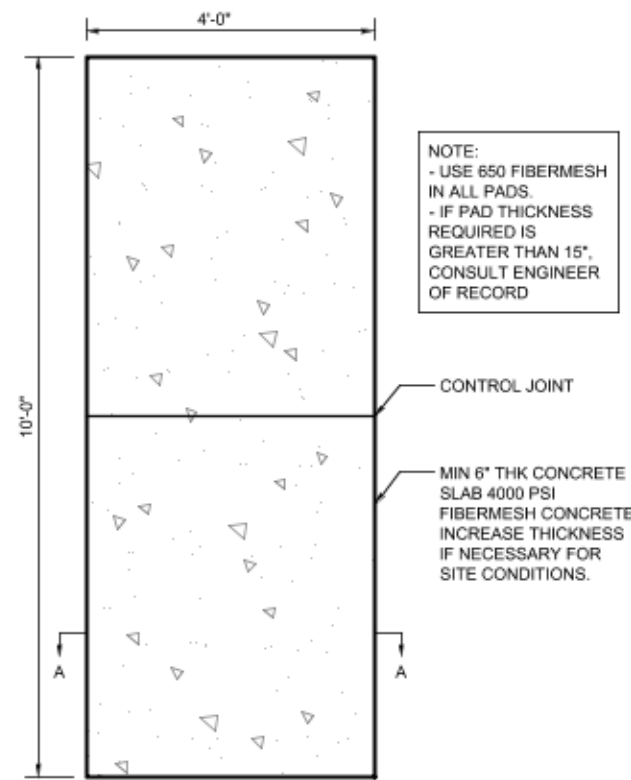
DESIGN TYPE:

COLOCATION

SHEET TITLE:

FOUNDATION DETAILS

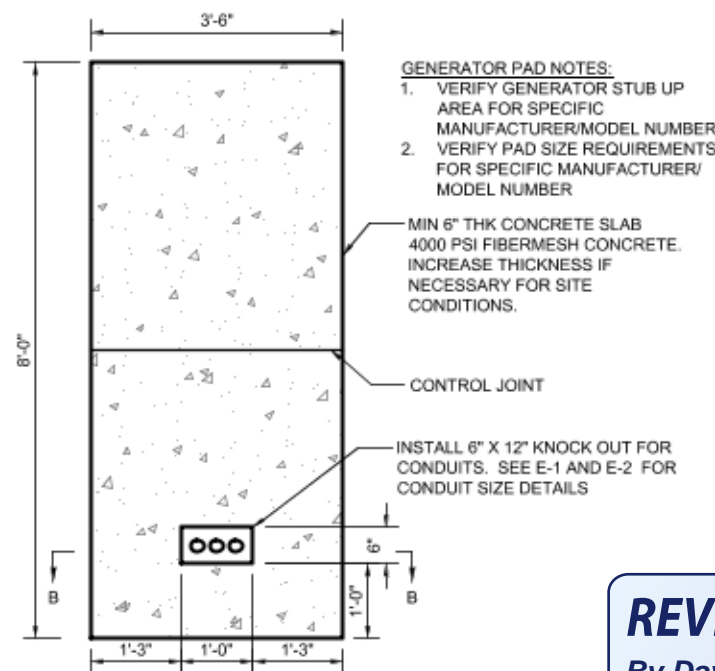
DRAWING NO.	REVISION NO.	TS v.
C-4	0	3.01



NOTE:
 - USE 650 FIBERMESH IN ALL PADS.
 - IF PAD THICKNESS REQUIRED IS GREATER THAN 15", CONSULT ENGINEER OF RECORD

CONTROL JOINT
 MIN 6" THK CONCRETE SLAB 4000 PSI FIBERMESH CONCRETE. INCREASE THICKNESS IF NECESSARY FOR SITE CONDITIONS.

1
C4
EQUIPMENT PAD PLAN
 NOT TO SCALE

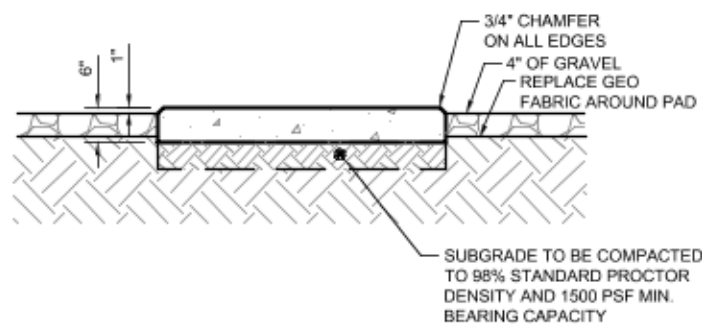


GENERATOR PAD NOTES:
 1. VERIFY GENERATOR STUB UP AREA FOR SPECIFIC MANUFACTURER/MODEL NUMBER
 2. VERIFY PAD SIZE REQUIREMENTS FOR SPECIFIC MANUFACTURER/MODEL NUMBER

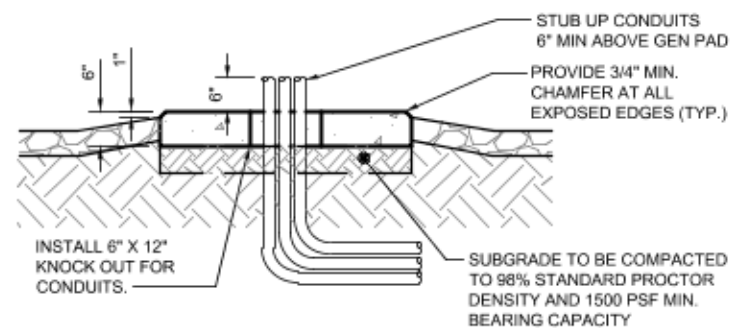
MIN 6" THK CONCRETE SLAB 4000 PSI FIBERMESH CONCRETE. INCREASE THICKNESS IF NECESSARY FOR SITE CONDITIONS.
 CONTROL JOINT
 INSTALL 6" X 12" KNOCK OUT FOR CONDUITS. SEE E-1 AND E-2 FOR CONDUIT SIZE DETAILS

2
C4
GENERATOR PAD PLAN
 NOT TO SCALE

REVIEWED
 By Dave Goetzcke at 12:17 pm, May 17, 2019



SECTION A-A THROUGH EQUIPMENT PAD
 NOT TO SCALE



SECTION B-B THROUGH GENERATOR PAD
 NOT TO SCALE

TOWER OWNER:
MUNICIPAL COMMUNICATIONS, LLC
 MUNICIPAL COMMUNICATIONS, LLC
 3495 PIEDMONT RD NE, SUITE 411
 ATLANTA, GA 30305

A&E FIRM:
towersource
 1875 OLD ALABAMA ROAD, SUITE 1008
 ROSWELL, GA 30076
 TEL: [REDACTED] FAX: [REDACTED]

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DRAWN BY:	MYM
CHECKED BY:	MEW

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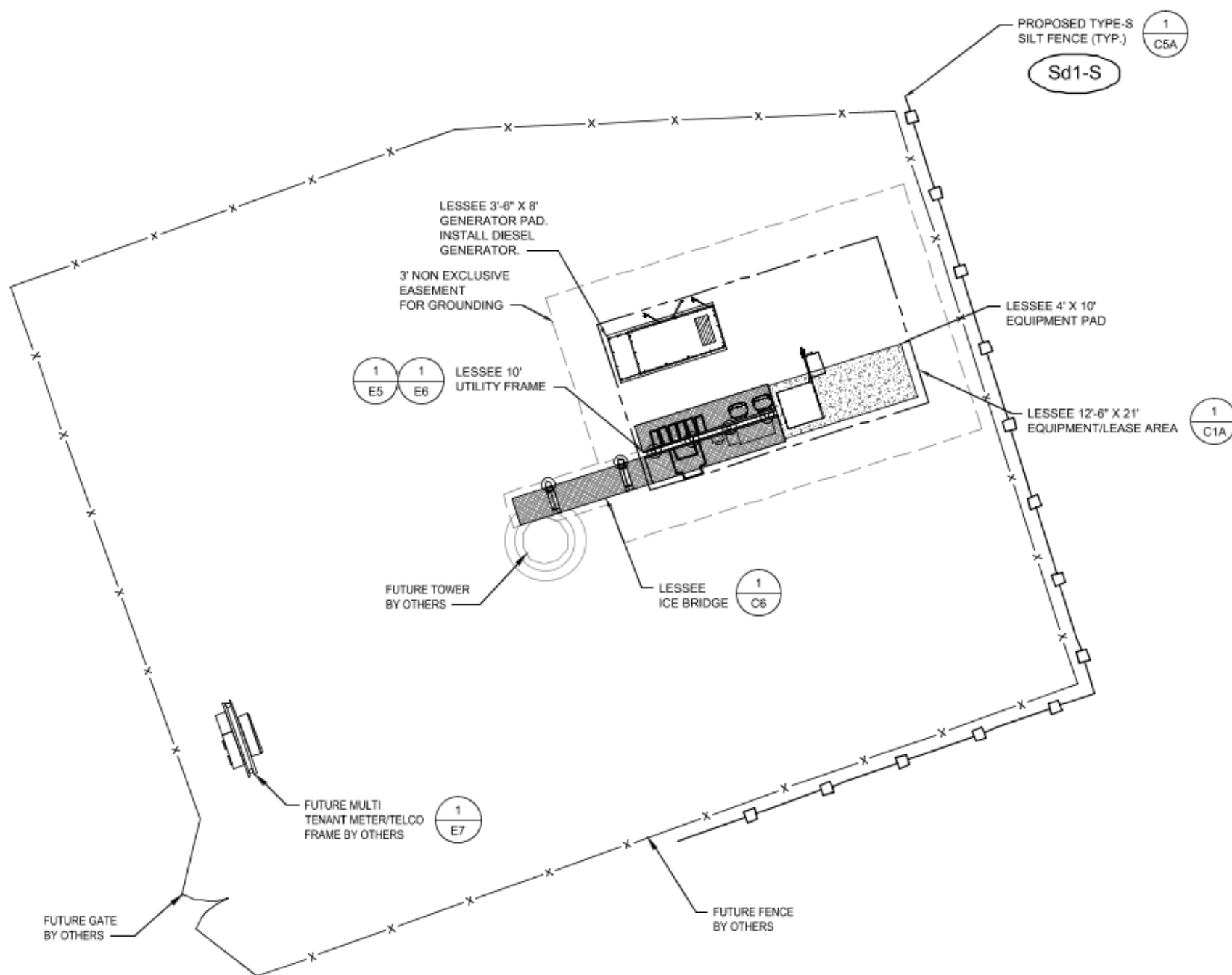
VERIZON WIRELESS SITE NAME:
COMMODORE

TOWER OWNER'S SITE #:
 MUNICIPAL COMMUNICATIONS, LLC

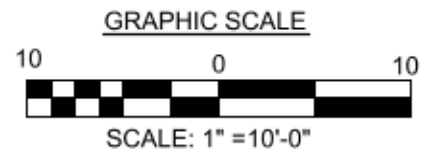
DESIGN TYPE:
COLOCATION

SHEET TITLE:
EROSION CONTROL PLAN

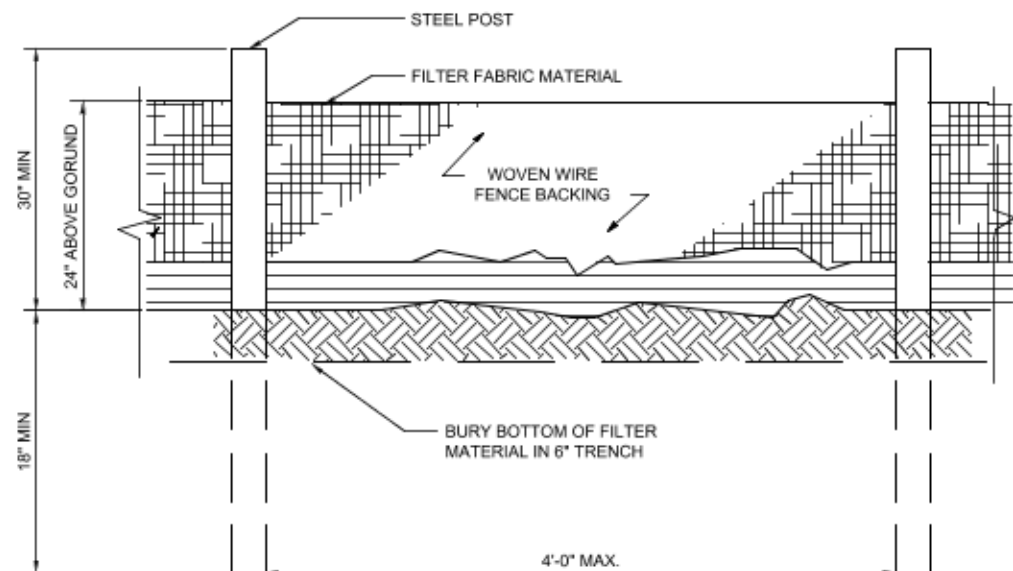
DRAWING NO. C-5	REVISION NO. 0	TS v. 3.01
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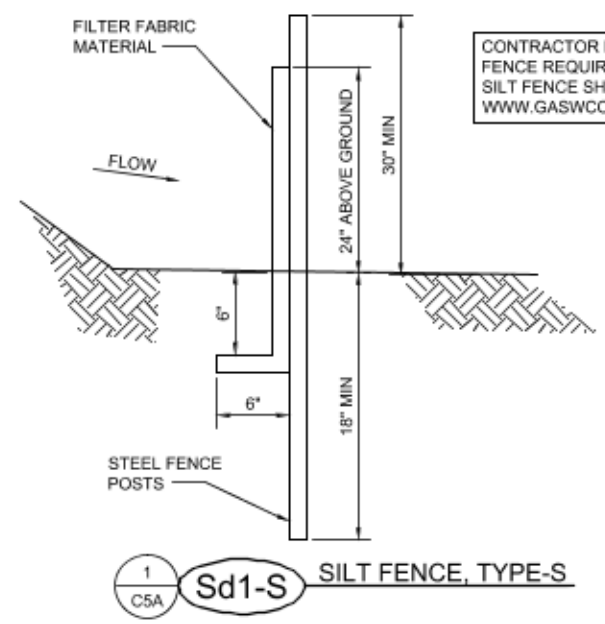
REVIEWED
 By Dave Goetzcke at 12:18 pm, May 17, 2019



EROSION CONTROL PLAN
 SCALE: 1" = 10'-0"



NOTE: USE 36\"/>



CONTRACTOR RESPONSIBLE FOR MEETING AND MAINTAINING SILT FENCE REQUIREMENTS PER GASWCC 6th EDITION ALL EROSION. SILT FENCE SHOULD BE WIRE REINFORCED. SEE WWW.GASWCC.GEORGIA.GOV FOR MORE DETAILS

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

1
C5A Sd1-S SILT FENCE, TYPE-S

REVIEWED
By Dave Goetzcke at 12:18 pm, May 17, 2019

PREPARED FOR:
verizon
10300 OLD ALABAMA ROAD CONNECTOR
ALPHARETTA, GA 30022

TOWER OWNER:
MUNICIPAL COMMUNICATIONS, LLC
MUNICIPAL COMMUNICATIONS, LLC
3495 PIEDMONT RD NE, SUITE 411
ATLANTA, GA 30305

A&E FIRM:
towersource
1875 OLD ALABAMA ROAD, SUITE 1008
ROSWELL, GA 30076
TEL: [REDACTED] FAX: [REDACTED]

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A&E PROJECT #:	--
SITE LOCATION CODE:	--
DRAWN BY:	MYM
CHECKED BY:	MEW

REVISIONS		
NO.	DATE	DESCRIPTION
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0	04/19/18	ISSUED FOR CONSTRUCTION



VERIZON WIRELESS SITE NAME:
COMMODORE

TOWER OWNER SITE #:
MUNICIPAL COMMUNICATIONS, LLC

DESIGN TYPE:
COLOCATION

SHEET TITLE:
EROSION CONTROL DETAILS

DRAWING NO. C-5A	REVISION NO. 0	TS v. 3.01
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A&E PROJECT #:	--
SITE LOCATION CODE:	--
DRAWN BY:	MYM
CHECKED BY:	MEW

REVISIONS		
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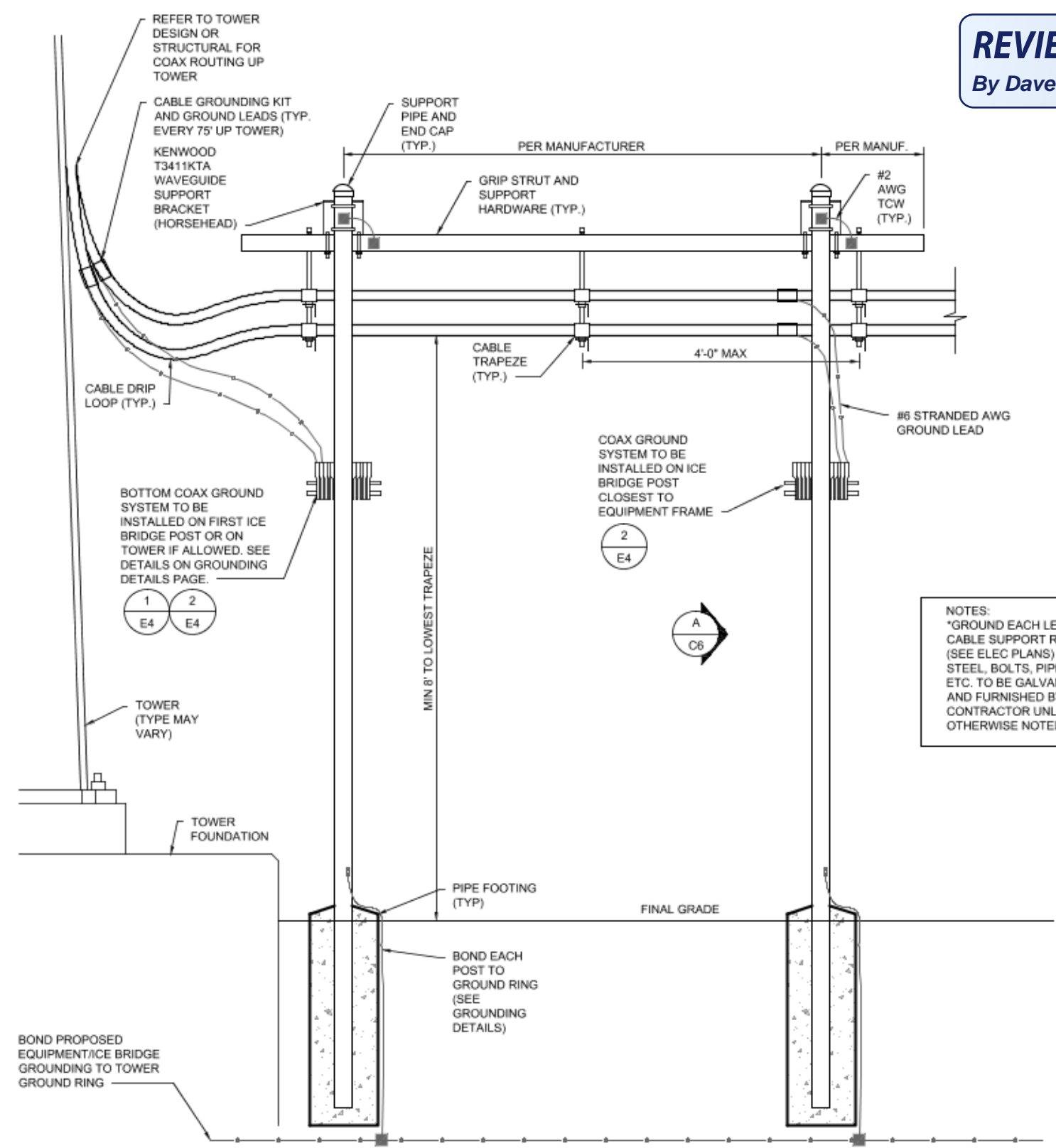


VERIZON WIRELESS SITE NAME:	COMMODORE
TOWER OWNERS SITE #:	MUNICIPAL COMMUNICATIONS, LLC
DESIGN TYPE:	COLOCATION

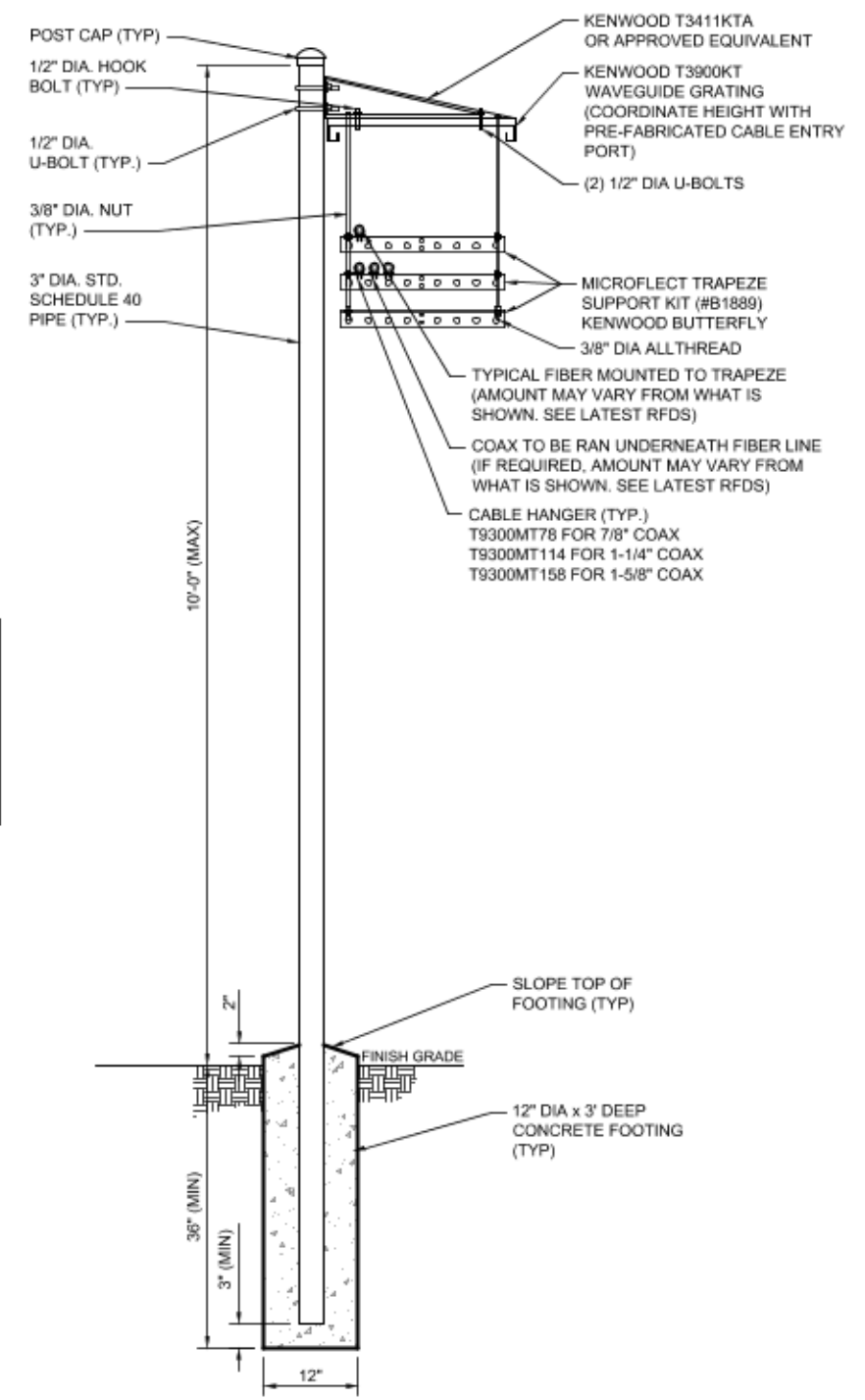
SHEET TITLE:
ICE BRIDGE DETAILS

DRAWING NO.	REVISION NO.	TS v.
C-6	0	3.01

REVIEWED
 By Dave Goetzcke at 12:18 pm, May 17, 2019



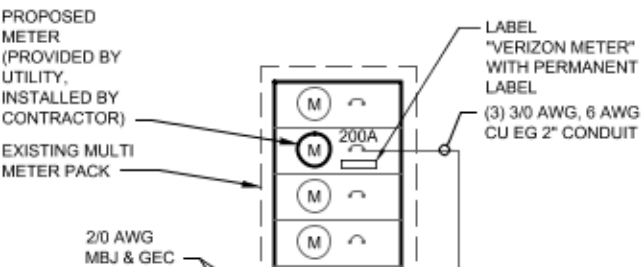
1
 ICE BRIDGE ELEVATION
 SCALE



A
 ICE BRIDGE DETAIL
 SCALE

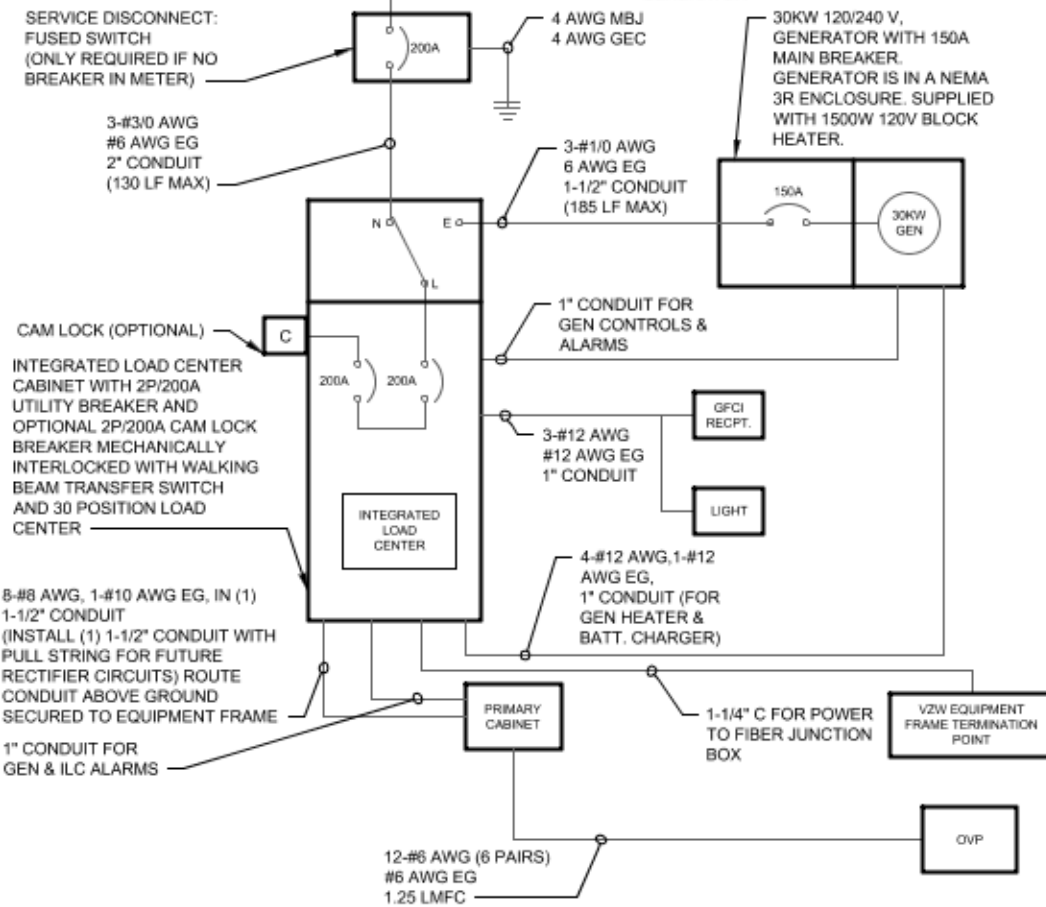
NOTES:
 *GROUND EACH LEG OF CABLE SUPPORT RACK (SEE ELEC PLANS) *ALL STEEL, BOLTS, PIPES, ETC. TO BE GALVANIZED AND FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.

NOTE:
 PANEL SCHEDULE AND SINGLE LINE
 DIAGRAM REPRESENT A SITE WITH A NEW GE
 POWER PLANT, 30 KW DIESEL GENERATOR,
 AND TWO SOURCE ILC (THREE SOURCE ILC
 OPTIONAL AS NEEDED).

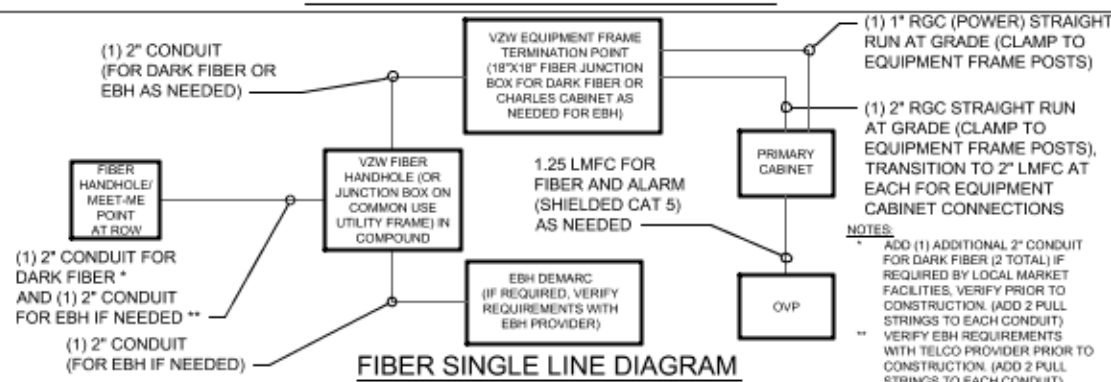


- NOTES:**
1. ALL EQUIPMENT SHALL BE NEMA 3R RATED.
 2. ALL EQUIPMENT SHALL BE LIGHTNING PROTECTED IN ACCORDANCE WITH TIA-222-G AND VERIZON WIRELESS STANDARDS.
 3. CONDUCTOR SIZES AND DISTANCES HAVE BEEN SIZED FOR 3% MAX VOLTAGE DROP (TOTAL SYSTEM VOLTAGE DROP ON BOTH FEEDERS AND BRANCH CIRCUITS TO THE FARTHEST DEMAND SHALL NOT EXCEED 5%).
 4. WIRE SIZING AND MAXIMUM DISTANCE FROM GENERATOR TO ILC ASSUMES POWER FACTOR OF 0.9. BELOW GRADE CONDUIT SHALL BE SCHEDULE 80 PVC ABOVE GRADE CONDUIT SHALL BE GALVANIZED RIGID CONDUIT. BELOW GRADE PVC CONDUIT SHALL TRANSITION TO GRC PRIOR TO RISING ABOVE GRADE. ALL BENDS SHALL HAVE A MINIMUM 24" RADIUS. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. VERIFY CONDUIT TYPE WITH LOCAL CONSTRUCTION MANAGER AND ADJUST IF NECESSARY. ALL CONDUIT SHALL MEET NEC, STATE, AND LOCAL CODE REQUIREMENTS AS REQUIRED.

NOTE: THE GENERATOR USED IN CONJUNCTION WITH A 2-POLE ILC WITH A SOLID NEUTRAL IS NOT A SEPARATELY DERIVED SYSTEM. AS SUCH, DO NOT BOND THE NEUTRAL TO GROUND AT THE GENERATOR



ELECTRICAL SINGLE LINE DIAGRAM



FIBER SINGLE LINE DIAGRAM

LOAD CALCULATION

LOAD	AMPS
PROPOSED LOAD:	120
TOTAL DEMAND:	120
VOLTAGE: 120/240V SINGLE PHASE 3W 200A	

PANEL NAME:		VZW ILC		MODEL NUMBER:		GENERAC 004892.004877									
RATED VOLTAGE:		240	120	VOLTS		PHASE/WIRE: 1 3									
MAIN BREAKER:		200	AMPS		BUS RATING: 200		KEY DOOR LATCH: YES								
MOUNT:		SURFACE		NEUTRAL BAR: YES		HINGED DOOR: YES									
ENCLOSURE TYPE:		NEMA 3R		AIC: 65K											
POS	USAGE FACTOR	BUS AMPS		LOAD	POLES	AMPS	L1	L2	AMPS	POLES	LOAD	BUS AMPS		USAGE FACTOR	POS
		L1	L2									L1	L2		
1	1	18		RECTIFIER	2	30A			30A	2	FUTURE RECTIFIER	18		1	2
3	1	18									FUTURE RECTIFIER	18	18	1	4
5	1	18		RECTIFIER	2	30A			30A	2	FUTURE RECTIFIER	18		1	6
7	1	18									FUTURE RECTIFIER		18	1	8
9	1	18		RECTIFIER	2	30A									10
11	1	18													12
13	1	18													14
15	1	18		RECTIFIER	2	30A									16
17	1.25	2		GFCI RECPT/LIGHT	1	20A									18
19	1	12		BLOCK HEATER	1	20A									20
21	1	8		BATT. CHARGER	1	20A									22
23															24
25															26
27															28
29															30
		82	84	:SUB TOTAL AMPS								SUB TOTAL AMPS:		36	36
												FACTORED TOTAL AMPS:		118	120

- NOTES:**
1. ALL CONDUCTORS ARE TYPE THWN (75°C) COPPER.
 2. MAXIMUM LENGTH OF RUN FOR RECTIFIER CIRCUITS IS 50FT.
 3. ASCO INTEGRATED LOAD CENTER INCLUDES 200 AMP MAIN DISCONNECT AND TRANSFER SWITCH FOR PORTABLE OR PERMANENT GENERATOR.
 4. RECTIFIER LOADS ARE CONSIDERED TO BE NON-CONTINUOUS.

REVIEWED
 By Dave Goetzcke at 12:18 pm, May 17, 2019

- GENERAL NOTES:**
1. ELECTRICAL UTILITY WILL PROVIDE METER AND INCOMING SERVICE LATERAL CONDUCTORS.
 2. ALL ELECTRICAL WORK SHALL COMPLY WITH NEC, STATE, AND LOCAL CODES.
 3. CONTRACTOR SHALL OBTAIN OWNER/TENANT EQUIPMENT DRAWINGS AND REVIEW FOR ADDITIONAL DETAILS AND REQUIREMENTS THAT MAY NOT BE SHOWN IN THESE DRAWINGS. CONTRACTOR SHALL COMPLY WITH ANY ADDITIONAL OWNER/TENANT SPECIFICATIONS AND REQUIREMENTS THAT MAY BE ADDRESSED IN THE EQUIPMENT DRAWINGS.
 4. PRIOR TO PURCHASING EQUIPMENT, THE CONTRACTOR SHALL CONTACT THE ELECTRIC UTILITY AND OBTAIN IN WRITING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE UTILITY SERVICE POINT. PROVIDE MAX AFC SIGNAGE AS REQUIRED PER NEC 110.24. THE CONTRACTOR SHALL ENSURE ALL ELECTRICAL EQUIPMENT, CIRCUIT BREAKERS, DISCONNECTS, FUSES, AND PANELBOARDS HAVE A FAULT CURRENT INTERRUPTING RATING GREATER THAN THE AVAILABLE FAULT CURRENT. IN NO CASE SHALL THE FAULT CURRENT INTERRUPTING RATING BE LESS THAN 10,000 AMPS.
 5. THE GROUNDING SERVICE CONDUCTOR (NEUTRAL CONDUCTOR) SHALL BE GROUNDED AT THE SERVICE DISCONNECT ONLY.
 6. ALL POWER CIRCUITS SHALL USE COPPER CONDUCTORS WITH THIN THWN INSULATION. ALL TERMINATIONS SHALL BE RATED FOR AT LEAST 75 DEGREES C.
 7. CONTRACTOR SHALL PROVIDE GROUND FAULT CIRCUIT INTERRUPTER (GFCI) TYPE RECEPTACLES.
 8. CONTRACTOR SHALL ENSURE ALL NEUTRAL CONDUCTORS HAVE WHITE INSULATION AND EQUIPMENT GROUND CONDUCTORS HAVE GREEN INSULATION. COLOR TAPE IDENTIFICATION OF THESE CONDUCTORS IS NOT ALLOWED.
 9. PER NEC ART. 702 PROVIDE SIGNAGE AS FOLLOWS:
 A) AT PANEL PP1 AND DISCONNECT: "EMERGENCY POWER IS SUPPLIED BY STAND-BY GENERATOR LOCATED ON OTHER SIDE OF PAD."
 B) AT SERVICE DISCONNECT:
- WARNING - SHOCK HAZARD EXISTS IF GROUNDING ELECTRODE CONDUCTOR OR BONDING JUMPER CONNECTION IN THIS EQUIPMENT IS REMOVED WHILE ALTERNATE SOURCE(S) IS ENERGIZED. OPENING THE EQUIPMENT DISCONNECT WILL CAUSE THE EMERGENCY GENERATOR TO START. TO REMOVE POWER ENTIRELY FROM THE EQUIPMENT, THE GENERATOR MUST BE TURNED OFF AND THE GENERATOR BREAKER MUST BE OPENED.**
10. PROVIDE PANEL WITH TVSS, ALL MODES PROTECTION, 80KA USING 2-10 AWG, 1-10 AWG EG IN 3/4" CONDUIT.
 11. SCOPE: PROVIDE LABOR, EQUIPMENT, MATERIALS, ETC., REQUIRED TO COMPLETE THE INSTALLATION SHOWN.
 12. CODES AND STANDARDS: INSTALLATION SHALL COMPLY WITH APPLICABLE LAWS AND ORDINANCES, UTILITY COMPANY REGULATIONS, & APPLICABLE REQUIREMENTS OF LATEST EDITIONS OF CODES LIST ON C-1.
 13. PERMITS: OBTAIN & PAY FOR REQUIRED PERMITS, LICENSES, FEES, INSPECTIONS, ETC.
 14. COORDINATION: COORDINATE ELECTRICAL WORK WITH OTHER TRADES.
 15. SUBMITTALS: SUBMIT BROCHURES FOR APPROVAL ON DISCONNECT SWITCH & OTHER MAJOR SYSTEM COMPONENTS.
 16. EXISTING SERVICES: DO NOT INTERRUPT EXISTING SERVICES WITHOUT WRITTEN PERMISSION OF THE OWNER.
 17. EQUIPMENT: CONNECT ELECTRICALLY OPERATED EQUIPMENT.
 18. RECORD DRAWINGS: MAINTAIN A RECORD OF ALL CHANGES, SUBSTITUTIONS BETWEEN WORK AS SPECIFIED AND INSTALLED. RECORD CHANGES ON A CLEAN SET OF CONTRACT DOCUMENTS WHICH SHALL BE TURNED OVER TO THE OWNER UPON COMPLETION OF THE PROJECT.
 19. IDENTIFICATION: IDENTIFY DISCONNECT SWITCH WITH PERMANENT ENGRAVED NAMEPLATE.
 20. GUARANTEE/WARRANTY: GUARANTEE INSTALLATION TO BE FREE OF DEFECTS, SHORTS, GROUNDS, ETC., FOR A PERIOD OF ONE YEAR. FURNISH WARRANTY SO THE DEFECTIVE MATERIALS AND/OR WORKMANSHIP WILL BE REPAIRED/REPLACED IMMEDIATELY UPON NOTIFICATION AT NO COST TO THE OWNER FOR PERIOD OF WARRANTY.
 21. CUTTING & PATCHING: PROVIDE CUTTING REQUIRED TO DO THE WORK. DO NOT CUT STRUCTURAL ELEMENTS WITHOUT APPROVAL. PATCHING SHALL BE OF QUALITY EQUAL TO & OF MATCHING APPEARANCE OF EXISTING CONSTRUCTION.
 22. TRENCHING & BACKFILL: PROVIDE FOR ALL UNDERGROUND INSTALLED CONDUIT AND/OR CABLES.
 23. RACEWAYS: UNDERGROUND CONDUIT SHALL BE SCHEDULE 40 PVC CONDUIT (MEETING NEMA TC2-1990). UNDERGROUND PVC CONDUIT SHALL TRANSITION TO RIGID GALVANIZED STEEL CONDUIT BEFORE RISING ABOVE GRADE OR WHEN SUBJECT TO VEHICLE TRAFFIC LOADS. ALL CONDUIT BENDS SHALL BE A MINIMUM OF 24" RADIUS. EXPOSED CONDUIT SHALL BE RIGID GALVANIZED STEEL RGS CONDUIT, WHEN SPECIFIED, SHALL MEET UL-6 FOR GALVANIZED STEEL. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. INTERIOR CONDUIT SHALL BE ELECTRICAL METALLIC TUBING WITH COMPRESSION TYPE FITTINGS.
 24. SUPPORTS: AS REQUIRED BY THE NEC.
 25. CONDUCTORS: USE 98% CONDUCTIVITY COPPER WITH TYPE THIN THWN INSULATION, 600 VOLT, COLOR CODED. USE SOLID CONDUCTORS FOR WIRE UP TO #8 AWG. USE STRANDED CONDUCTORS FOR WIRE #8 AWG AND ABOVE.
 26. CONNECTORS FOR POWER CONDUCTORS: USE PRESSURE TYPE INSULATED TWIST CONNECTORS FOR #10 AWG AND SMALLER. USE SOLDERLESS MECHANICAL TERMINAL LUGS FOR #8 AWG AND LARGER.
 27. GROUNDING:
 - A. ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS & INSTRUCTIONS.
 - B. ALL CONNECTIONS SHALL BE 2-HOLE LUG UNLESS UNDERGROUND.
 - C. LUGS SHALL BE ATTACHED TO GROUND BARS USING STAINLESS STEEL OR HOT-DIPPED GALVANIZED STEEL BOLTS, NUTS, & LOCKWASHERS.
 - D. PROVIDE TESTING OF GROUNDING SYSTEM AS DIRECTED BY CONSTRUCTION MANAGER.



TOWER OWNER:
MUNICIPAL COMMUNICATIONS, LLC
 MUNICIPAL COMMUNICATIONS, LLC
 3495 PIEDMONT RD NE, SUITE 411
 ATLANTA, GA 30305

A&E FIRM:

 1875 OLD ALABAMA ROAD, SUITE 1008
 ROSWELL, GA 30076
 TEL: [REDACTED] FAX: [REDACTED]

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REVISIONS	
NO.	DESCRIPTION
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B	04/19/18 ISSUED FOR CONSTRUCTION



VERIZON WIRELESS SITE NAME:
COMMODORE
 TOWER OWNERS SITE #:
 MUNICIPAL COMMUNICATIONS, LLC

DESIGN TYPE:
COLOCATION
 SHEET TITLE:
ONE LINE DIAGRAM & ELECTRICAL NOTES

DRAWING NO.	REVISION NO.	TS v.
E-1	0	3.01

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VERIZON WIRELESS SITE NAME:	COMMODORE
TOWER OWNER'S SITE #:	MUNICIPAL COMMUNICATIONS, LLC
DESIGN TYPE:	COLOCATION

SHEET TITLE:
EQUIPMENT CONDUIT ROUTING PLAN

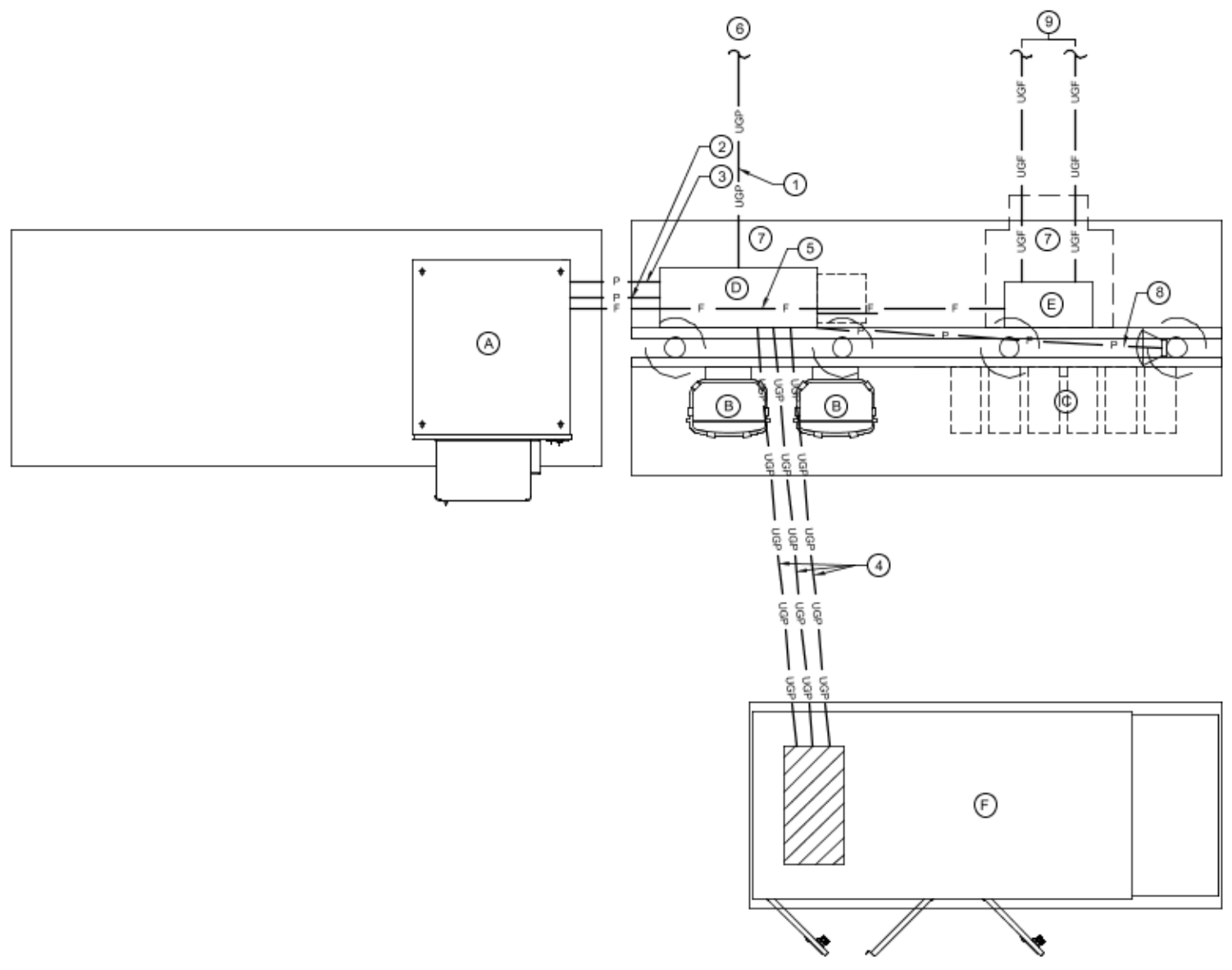
DRAWING NO.	REVISION NO.	TS v.
E-2	0	3.01

REVIEWED
 By Dave Goetzcke at 12:18 pm, May 17, 2019

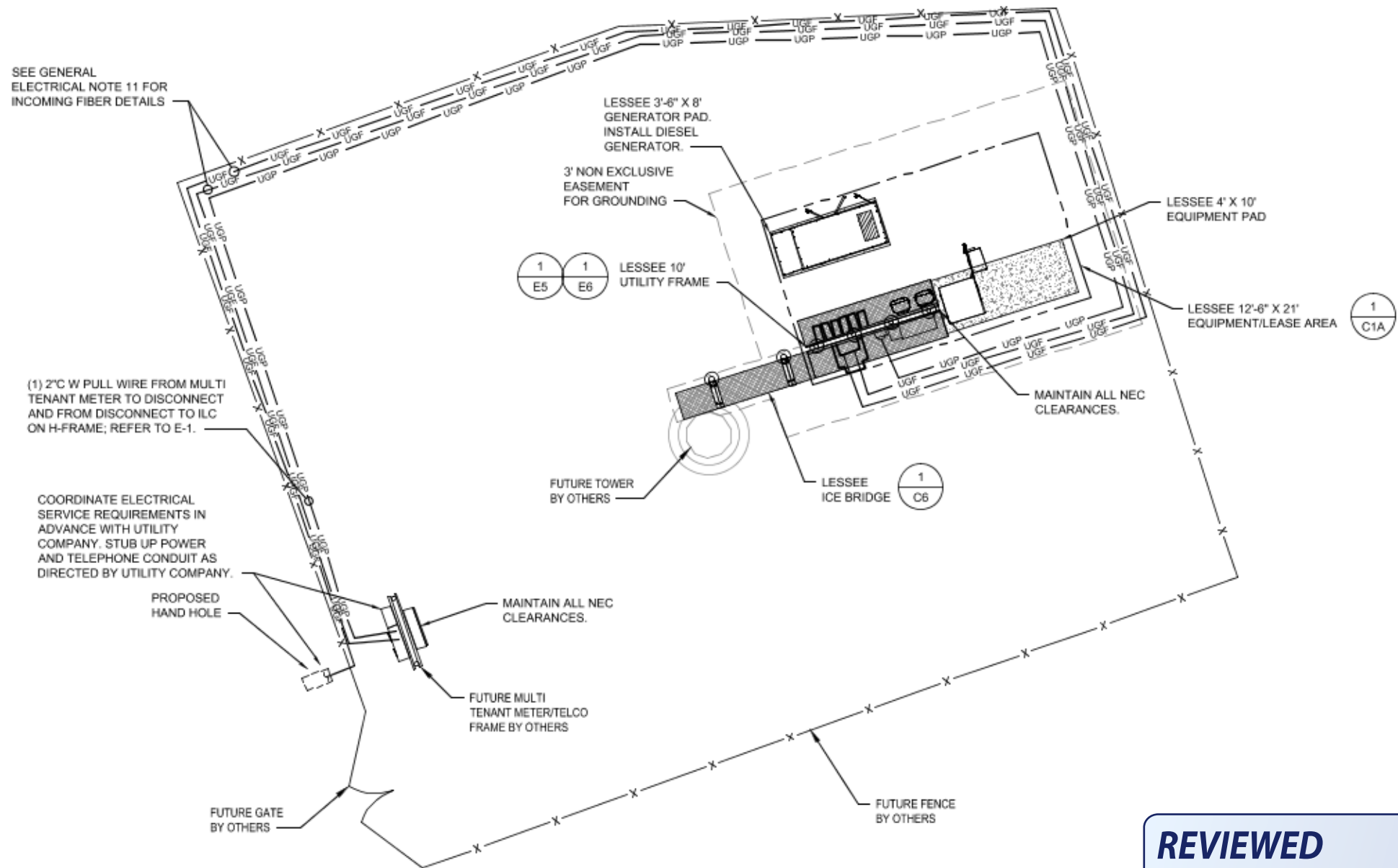
CODED DRAWING NOTES:

- ① (1) 2" W PULL WIRE FROM MULTI TENANT METER TO ILC ON H-FRAME; REFER TO E-1. REFER TO E-2A FOR LOCATION/ ROUTING OF INCOMING CONDUIT.
- ② (2) 1-1/2" FROM ILC ON H-FRAME TO EQUIPMENT CABINET.
- ③ (1) 1" C FOR GENERATOR AND ILC ALARMS.
- ④ (1) 1" W PULL WIRE FOR GENERATOR CONTROLS AND ALARMS, (1) 1-1/2" W PULL WIRE FOR POWER, AND (1) 1" C FOR BLOCK HEATER AND BATTERY CHARGER FROM GENERATOR TO ILC; REFER TO E-1.
- ⑤ (1) 2" W PULL WIRE FOR FIBER AND (1) 1" W PULL WIRE FOR DC POWER FROM RADIO/AUX CABINET TO FIBER BOX ON FRAME; REFER TO E-1.
- ⑥ COORDINATE ELECTRICAL SERVICE REQUIREMENTS IN ADVANCE WITH UTILITY COMPANY. STUB UP POWER AND TELEPHONE CONDUIT AS DIRECTED BY UTILITY COMPANY.
- ⑦ MAINTAIN ALL NEC CLEARANCES.
- ⑧ (1) 1" C FOR POWER FROM ILC TO GFCI RECEPTACLE AND SECURITY LIGHTS; REFER TO E-1.
- ⑨ (2) 2" C FOR FIBER. REFER TO E-2A FOR LOCATION/ ROUTING OF INCOMING CONDUIT.

- LEGEND**
- A PRIMARY CABINET
 - B OVP/RAYCAP
 - C GROUND MOUNTED RRU (IF REQUIRED)
 - D INTEGRATED LOAD CENTER
 - E FIBER BOX
 - F GENERATOR



1
 E2 **EQUIPMENT CONDUIT PLAN**
 NOT TO SCALE



SEE GENERAL ELECTRICAL NOTE 11 FOR INCOMING FIBER DETAILS

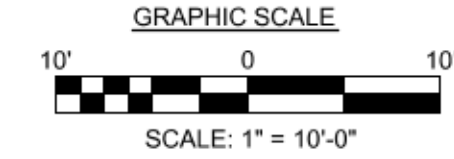
(1) 2" W PULL WIRE FROM MULTI TENANT METER TO DISCONNECT AND FROM DISCONNECT TO ILC ON H-FRAME; REFER TO E-1.

COORDINATE ELECTRICAL SERVICE REQUIREMENTS IN ADVANCE WITH UTILITY COMPANY. STUB UP POWER AND TELEPHONE CONDUIT AS DIRECTED BY UTILITY COMPANY.

PROPOSED HAND HOLE

FUTURE MULTI TENANT METER/TELCO FRAME BY OTHERS

FUTURE GATE BY OTHERS



ELECTRICAL SITE PLAN
SCALE: 1"=10'-0"

- GENERAL ELECTRICAL NOTES:**
- ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE NATIONAL ELECTRICAL CODE AND ALL LOCAL AND STATE CODES, LAWS, AND ORDINANCES.
 - ALL UNDERGROUND CONDUIT SHALL BE PVC SCHEDULE 40 UNLESS OTHERWISE INDICATED. CONDUITS EXPOSED ABOVE GROUND OR ROUTED UNDER GRAVEL ROAD SHALL BE RIGID GALVANIZED STEEL. ALL UNDERGROUND CONDUIT SHALL TRANSITION FROM PVC TO RIGID AT THE 90° BEND BELOW GRADE. SUPPLY UTILITY MARKING TAPE BURIED 12" BELOW GRADE ALONG ENTIRE LENGTH OF UNDERGROUND CONDUITS.
 - ALL CONDUCTORS SHALL BE COPPER WITH THHN/THWN INSULATION. CONTROL CONDUCTORS SHALL BE STRANDED. POWER & LIGHTING CONDUCTORS SHALL BE SOLID FOR #10 & #12 CONDUCTORS AND STRANDED FOR ALL OTHER SIZES.
 - ELECTRICAL DRAWINGS ARE IN PART DIAGRAMMATIC. COORDINATE ELECTRICAL WORK WITH BUILDING STRUCTURE AND MECHANICAL EQUIPMENT. PROVIDE ADDITIONAL SUPPORTS FOR ELECTRICAL EQUIPMENT WHERE THE BUILDING STRUCTURE IS NOT ADAPTED TO MOUNTING EQUIPMENT THEREON.
 - LOCATE ALL UNDERGROUND UTILITIES BEFORE TRENCHING. IF CONFLICTS ARISE, CONTACT UTILITY COMPANY AND ENGINEER IMMEDIATELY.
 - ALL EXPOSED CONDUITS SHALL HAVE WEATHERPROOF CAPS NOT DUCT TAPE.
 - PROVIDE 200 LB TEST PULL WIRES IN EACH EMPTY TELEPHONE AND POWER CONDUIT.
 - COORDINATE ALL CONDUIT STUB-UP LOCATIONS WITH UTILITY COMPANY.
 - PROVIDE WEATHERPROOF SEALS FOR ALL CONDUIT STUB-UPS. CONDUIT TO BE INSTALLED PER NEC REQUIREMENTS. MAX OF 4 90°S ALLOWED IN SINGLE RUN OF CONDUIT. IF MORE BENDS ARE REQUIRED INSTALL PULL BOX EVERY (4) 90°S. 4 BENDS OR 150' IN LENGTH
 - FIBER CONDUITS TO BE INSTALLED FROM ROW OF PUBLIC ROAD TO HAND HOLE AT COMPOUND. HAND HOLES TO BE INSTALLED IN ROW, AT COMPOUND AND EVERY 400' BETWEEN (OR AS DIRECTED BY UTILITY OR REQUIRED BY NEC). USE HIGHLINE PHA173030 12,000LB HAND HOLE OR APPROVED EQUIVALENT.
 - CONDUIT 1 (VERIZON'S, WHEN PROVIDER IS TOWERCLOUD, SOUTHERNLIGHT, COX OR ZAYO):
RUN (1) 2" C WITH (2) PULL STRINGS FROM VERIZON HAND HOLE AT ROW OF STREET STRAIGHT TO NEMA BOX ON VERIZON'S UTILITY FRAME.
 - CONDUIT 2" (WHEN PROVIDER IS AT&T OR WINDSTREAM):
11.2.1. GREENFIELDS AND COLOS WHERE PROVIDER DOES NOT HAVE NEMA BOX IN COMPOUND:
RUN (1) 2" C WITH (2) PULL STRINGS FROM FIBER PROVIDERS HAND HOLE AT ROW TO NEMA CABINET MOUNTED ON MULTI TENANT FRAME. AND ALSO FROM MULTI TENANT NEMA CABINET TO VERIZON'S NEMA BOX ON UTILITY FRAME. (STUB UP CONDUIT IF FIBER PROVIDER IS NOT YET AT ROW)
11.2.2. COLOS WHERE PROVIDER HAS EXISTING MULTI TENANT NEMA BOX IN COMPOUND: ONLY RUN (1) 2" C WITH (2) PULL STRINGS FROM EXISTING MULTI TENANT NEMA TO VERIZON'S NEMA BOX ON UTILITY FRAME.
- *CONSULT CM FOR CORRECT FIBER PROVIDER OPTION.
*CONTRACTOR RESPONSIBLE FOR ENSURING EASEMENT IS CORRECTLY MARKED IN FIELD BEFORE INSTALLING FIBER.

REVIEWED
By Dave Goetzcke at 12:18 pm, May 17, 2019



TOWER OWNER:
MUNICIPAL COMMUNICATIONS, LLC
MUNICIPAL COMMUNICATIONS, LLC
3495 PIEDMONT RD NE, SUITE 411
ATLANTA, GA 30305

A&E FIRM:
towersource
1875 OLD ALABAMA ROAD, SUITE 1008
ROSWELL, GA 30076
TEL: [REDACTED] FAX: [REDACTED]

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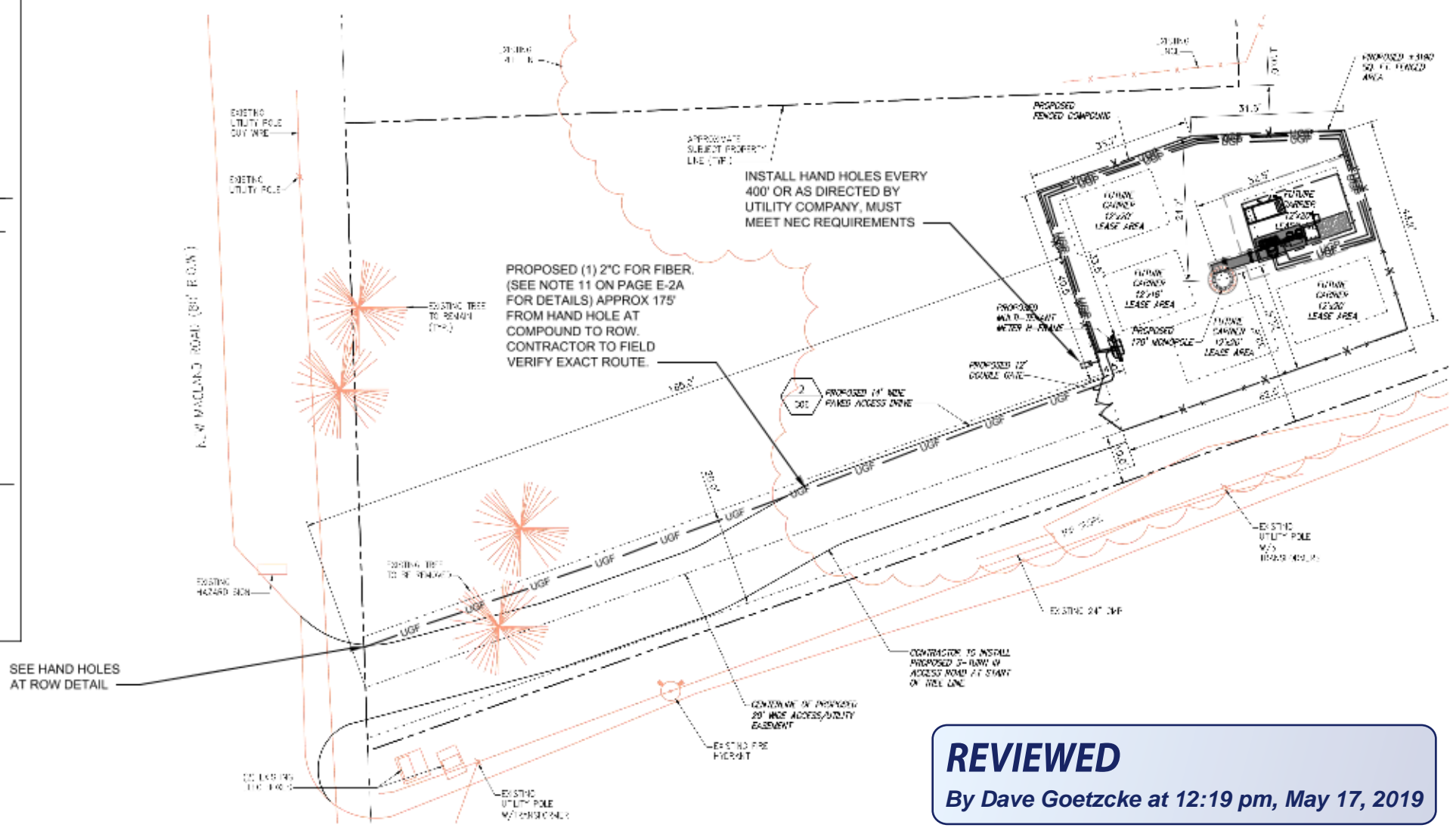
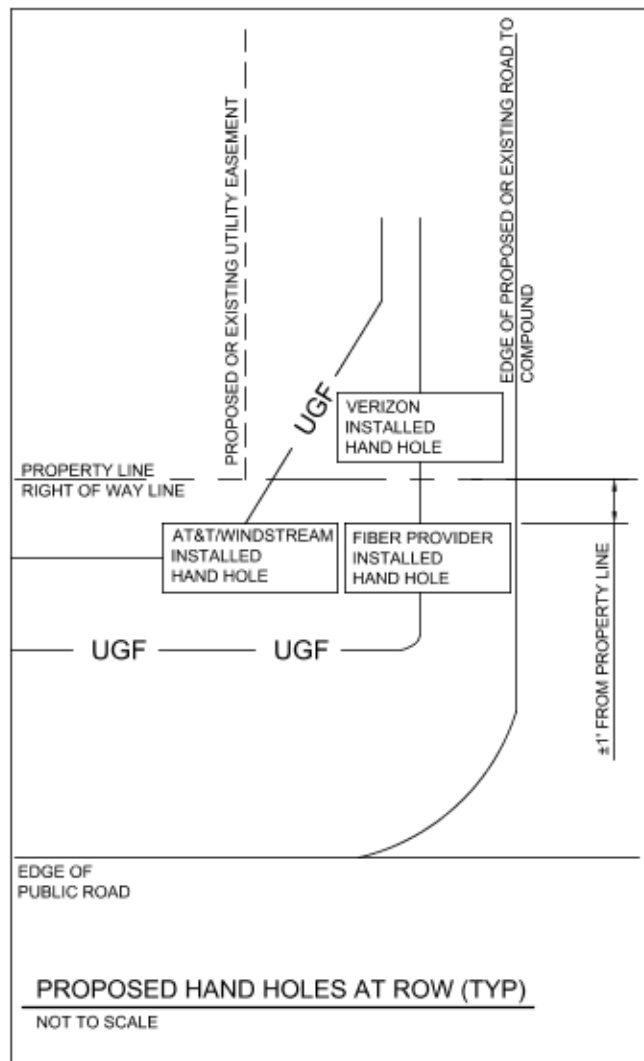
VERIZON WIRELESS SITE NAME:
COMMODORE

TOWER OWNER'S SITE #:
MUNICIPAL COMMUNICATIONS, LLC

DESIGN TYPE:
COLOCATION

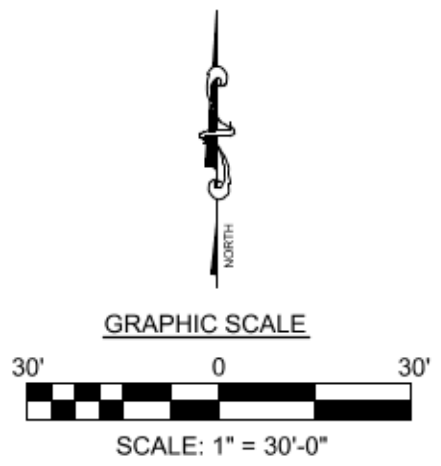
SHEET TITLE:
ELECTRICAL SITE PLAN

DRAWING NO. E-2A	REVISION NO. 0	TS v. 3.01
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REVIEWED
By Dave Goetzke at 12:19 pm, May 17, 2019

UTILITY ROUTING PLAN
SCALE: 1"=30'-0"
UNDERLING SITE PLAN
PROVIDED BY TOWER OWNER



PREPARED FOR:
verizon
10300 OLD ALABAMA ROAD CONNECTOR
ALPHARETTA, GA 30022

TOWER OWNER:
MUNICIPAL COMMUNICATIONS, LLC
MUNICIPAL COMMUNICATIONS, LLC
3495 PIEDMONT RD NE, SUITE 411
ATLANTA, GA 30305

A&E FIRM:
towersource
1875 OLD ALABAMA ROAD, SUITE 1008
ROSWELL, GA 30076
TEL: [REDACTED] FAX: [REDACTED]

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VERIZON WIRELESS SITE NAME:
COMMODORE
TOWER OWNER'S SITE #:
MUNICIPAL COMMUNICATIONS, LLC
DESIGN TYPE:
COLOCATION

SHEET TITLE:
UTILITY ROUTING PLAN

DRAWING NO. E-2B	REVISION NO. 0	TS v. 3.01
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GROUNDING NOTES:

GROUNDING OF ALL ELECTRICAL EQUIPMENT SHALL BE AS PER VZ NSTD 46 NEC, MUNICIPAL AND UTILITY COMPANY REQUIREMENTS.

1. THE GROUND RING SHALL CONSIST OF #2 AWG BARE SOLID TINNED COPPER (STC) CONDUCTOR, UNLESS NOTED OTHERWISE, BURIED AT 30" BELOW FINISHED GRADE (OR BELOW FROST LINE). LOCATE 24" MINIMUM AND 36" MAXIMUM FROM EQUIPMENT AREA AND FROM TOWER FOUNDATION. ALL CONNECTIONS SHALL BE MADE USING A PARALLEL TYPE EXOTHERMIC WELD, UNLESS NOTED OTHERWISE.
2. INSTALL GROUND RODS AS SHOWN AND AS REQUIRED. GROUND RODS TO BE COPPER CLAD STEEL, 5/8" DIAMETER AND 10FT IN LENGTH. SPACING BETWEEN GROUND RODS SHALL BE 10FT MINIMUM AND 15FT MAXIMUM. TOP OF GROUND ROD TO BE 30" MINIMUM BELOW GRADE (OR BELOW FROST LINE).
3. EQUIPMENT GROUND RING SHALL HAVE A MINIMUM OF 4 GROUND RODS, INSTALLED AT THE CORNERS OF THE GROUND RING PLUS ADDITIONAL RODS AS REQUIRED TO COMPLY WITH THE SPACING REQUIREMENTS. TOWER GROUND RING SHALL HAVE A MINIMUM OF 3 GROUND RODS, EXCEPT USE 4 RODS AT A MONOPOLE TOWER.
4. EQUIPMENT GROUND RING AND TOWER GROUND RING SHALL BE BONDED TOGETHER WITH TWO #2 STC GROUND LEADS, TYPICALLY ONE ON EACH SIDE OF ICE BRIDGE.
5. ANY METAL FENCE POST WITHIN 6FT OF A GROUNDED METAL OBJECT SHALL BE BONDED TO THE NEAREST GROUND RING. ANY METAL FENCE WITHIN 6FT OF A GROUND RING SHALL HAVE THE LINE POSTS BONDED TO THE GROUND RING AT 20FT MAXIMUM INTERVALS AS MEASURED ALONG THE LENGTH OF THE FENCE.
6. WHERE GROUND BASED RRU'S, RAYCAP OVP'S OR DIPLEXERS ARE INSTALLED AT THE EQUIPMENT AREA, BOND EACH COMPONENT TO NEAREST TDSCA GROUND BAR BELOW THE COMPONENT WITH #2 GREEN INSULATED STRANDED GROUND WIRE. SINGLE HOLE LUG OR RING TYPE CONNECTOR IS SUITABLE FOR CONNECTION TO GROUNDING STUD ON EACH COMPONENT.
7. MINIMUM BEND RADIUS FOR #2 AWG GROUND WIRE IS 12", EXCEPT USE 24" FOR EQUIPMENT PAD GROUND RINGS.
8. GROUND ALL EXTERIOR EXPOSED METAL OBJECTS. USE TWO HOLE LUGS FOR CONNECTION TO FLAT METAL SURFACES. USE ONLY STAINLESS STEEL HARDWARE ON ALL MECHANICAL CONNECTIONS. CLEAN ALL SURFACES (AND STRIP PAINTED SURFACES) TO BARE BRIGHT METAL PRIOR TO MAKING GROUND CONNECTIONS. APPLY ANTI-OXIDE COMPOUND TO ALL CONNECTIONS. APPLY ZINC RICH PAINT (COLD GALV.) TO ALL EXOTHERMIC WELDS, AND TO ANY METAL EXPOSED BY CLEANING, STRIPPING, GRINDING, CUTTING OR DRILLING.
9. ALL GROUNDING CONDUCTORS ABOVE GRADE SHALL BE RUN IN 3/4" FLEXIBLE PVC CONDUIT. CONDUIT SHALL BEGIN WITHIN 3/4" OF ABOVE GROUND CONNECTION POINT. SHALL EXTEND 24" BELOW GRADE MINIMUM, AND SHALL BE FILLED WITH SEALANT AT ABOVE GROUND CONNECTION POINT. SECURE CONDUIT EVERY 24" ON VERTICAL RUNS AND EVERY 36" ELSEWHERE WITH NON-METALLIC TIES.
10. GROUNDING NOTES @ TOWER:
 - 10.1. AT GUYED AND SELF SUPPORT TOWERS MOUNT TDSCA-PA14 (OR VZ APPROVED EQ) TOWER BOTTOM GROUNDING SYSTEM ON DEDICATED POST DIRECTLY BELOW COAX CABLES COMING OFF TOWER. POST TO BE 3.5" OD GALVANIZED SCHEDULE 40 PIPE WITH GALVANIZED PIPE CAP. TOP OF POST TO BE 78" ABOVE GRADE. EMBED POST 30" MINIMUM IN 12" DIAMETER BY 36" DEEP MINIMUM CONCRETE FOOTING WITH TOP OF FOOTING 6" BELOW GRADE. IF TOWER FOUNDATION OBSTRUCTS AUGERED FOOTING. USE POST WITH 10" SQUARE GALVANIZED STEEL FLANGE PLATE WELDED TO BOTTOM AND BOLT FLANGE TO TOP OF CONCRETE TOWER FOOTING.
 - 10.2. AT MONOPOLE TOWERS CLAMP TDSCA-BC14 (OR VZ APPROVED EQ) TOWER BOTTOM GROUNDING SYSTEM DIRECTLY TO TOWER. IF RUNNING COAX INSIDE MONOPOLE, CLAMP ONTO BOTTOM LIP OF EXIT PORT. IF BANDING COAX TO OUTSIDE OF TOWER, CLAMP ONTO STEEL ANGLE WHICH IS Banded TO TOWER. BOND TDSCA-BC14 TO TOWER GROUND RING WITH TWO #2 STC LEADS LUGGED TO GROUND BAR AND EXOTHERMICALLY WELDED TO GROUND RING.
11. AT EQUIPMENT AREA, INSTALL GROUND BAR AT BASE OF (2) INTERIOR H-FRAME POSTS AND AT TOP OF ICE BRIDGE POST WHICH IS NEAREST TO (BUT CLOSER TO TOWER THAN) THE COAX CABLE TERMINATION. MOUNT GROUND BAR TO H-FRAME POSTS AT 6" ABOVE GRAVEL AND TO ICE BRIDGE POST AT 6FT ABOVE GRAVEL.
12. ALL ICE BRIDGE SECTIONS ARE TO BE JUMPERED TOGETHER WITH #2 WIRE, EITHER BARE TINNED COPPER OR GREEN INSULATED STRANDED. ICE BRIDGE SHALL BE GROUNDED AT EACH END WITH #2 STC WIRE LUGGED TO ICE BRIDGE AND EXOTHERMICALLY WELDED TO UPPER PORTION OF NEAREST ICE BRIDGE POST. ICE BRIDGE SECTIONS ABOVE H-FRAME SHALL BE BONDED TO EACH OTHER WITH JUMPERS AT EACH END - THIS ASSEMBLY WILL BE CONSIDERED AS A SINGLE ICE BRIDGE SECTION FOR GROUNDING PURPOSES.
13. BOND EACH ICE BRIDGE POST, H-FRAME POST OR DEDICATED GROUNDING POST TO BURIED GROUNDING SYSTEM WITH #2 STC LEAD EXOTHERMICALLY WELDED TO POST BELOW TOP OF GRAVEL AND EXOTHERMICALLY WELDED TO GROUND RING. EACH POST TO HAVE SEPARATE GROUND LEAD DIRECTLY TO GROUND RING - DO NOT DAISY CHAIN POSTS TOGETHER.

14. BOND EACH RF CABINET TO EQUIPMENT GROUND RING WITH #2 AWG TINNED SOLID BARE COPPER CONDUCTOR LUGGED TO CABINET BODY AND EXOTHERMICALLY WELDED TO GROUND RING. LUG TO CABINET BODY USING LOCATION AT WHICH STUDS ON CABINET CHASSIS HAVE DIRECT GROUND WIRE CONNECTION TO CABINET INTERNAL GROUND BAR. RUN CONDUIT AND CONDUCTOR ACROSS BACK OF CABINET (DO NOT RUN TOWARDS NEAREST CORNER OF CABINET AND THEN BEND GROUND WIRE SHARPLY), ACROSS CONCRETE PAD BELOW CABLE LADDER, THEN DOWN INTO GRAVEL AREA.
15. (IF APPLICABLE) BOND EACH BATTERY CABINET TO GROUND RING WITH #2 AWG TINNED SOLID BARE COPPER CONDUCTOR LUGGED TO CABINET BODY AND EXOTHERMICALLY WELDED TO GROUND RING. RUN GROUND LEAD IN FLEX CONDUIT ALONG BACK OF RBA72 CABINET, ACROSS CONCRETE PAD BELOW CABLE LADDER, THEN DOWN INTO GRAVEL AREA. CONNECT TWO HOLE LUG TO BACK OF CABINET AT FACTORY PROVIDED GROUNDING STUDS.
16. BOND GENERATOR TO GROUND RING WITH #2 STC AT TWO DIAGONALLY OPPOSITE LOCATIONS BY DRILLING AND BOLTING TWO HOLE LUG TO FINS ON GENERATOR BASE STRUCTURE. GROUND LEADS SHOULD TAKE SHORTEST PATH ACROSS CONCRETE PAD TO GRAVEL AREA, THEN CONTINUE TO GROUND RING.
17. WHERE PROPANE TANK IS INSTALLED TO FUEL GENERATOR, BOND PROPANE TANK TO GROUND RING WITH A SINGLE #2 STC CLAMPED TO FILLER PIPE OF PROPANE TANK AND EXOTHERMICALLY WELDED TO GROUND RING. GROUND LEAD SHOULD RUN TO TANK SUPPORT AND TAKE SHORTEST PATH ACROSS CONCRETE PAD TO GRAVEL AREA, THEN CONTINUE TO GROUND RING. IF PROPANE TANK FUEL LINE IS METALLIC AND CROSSES EQUIPMENT GROUND RING, BOND FUEL LINE TO EQUIPMENT GROUND RING WHERE THE TWO LINES CROSS WITH A SINGLE #2 STC CLAMPED TO FUEL LINE AND EXOTHERMICALLY WELDED TO GROUND RING.
18. BOND GPS ANTENNA AND GPS ANTENNA MOUNT TO TDSCA GROUNDING SYSTEM (OR VZ APPROVED EQ) AT BOTTOM OF H-FRAME POST WITH #2 GREEN INSULATED STRANDED GROUND WIRE.

REVIEWED
By Dave Goetzcke at 12:19 pm, May 17, 2019



TOWER OWNER:
MUNICIPAL COMMUNICATIONS, LLC
MUNICIPAL COMMUNICATIONS, LLC
3495 PIEDMONT RD NE, SUITE 411
ATLANTA, GA 30305

A&E FIRM:
towersource
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VERIZON WIRELESS SITE NAME:
COMMODORE
TOWER OWNERS SITE #:
MUNICIPAL COMMUNICATIONS, LLC

DESIGN TYPE:
COLOCATION

SHEET TITLE:
GROUNDING NOTES

DRAWING NO. E-3	REVISION NO. 0	TS v. 3.01
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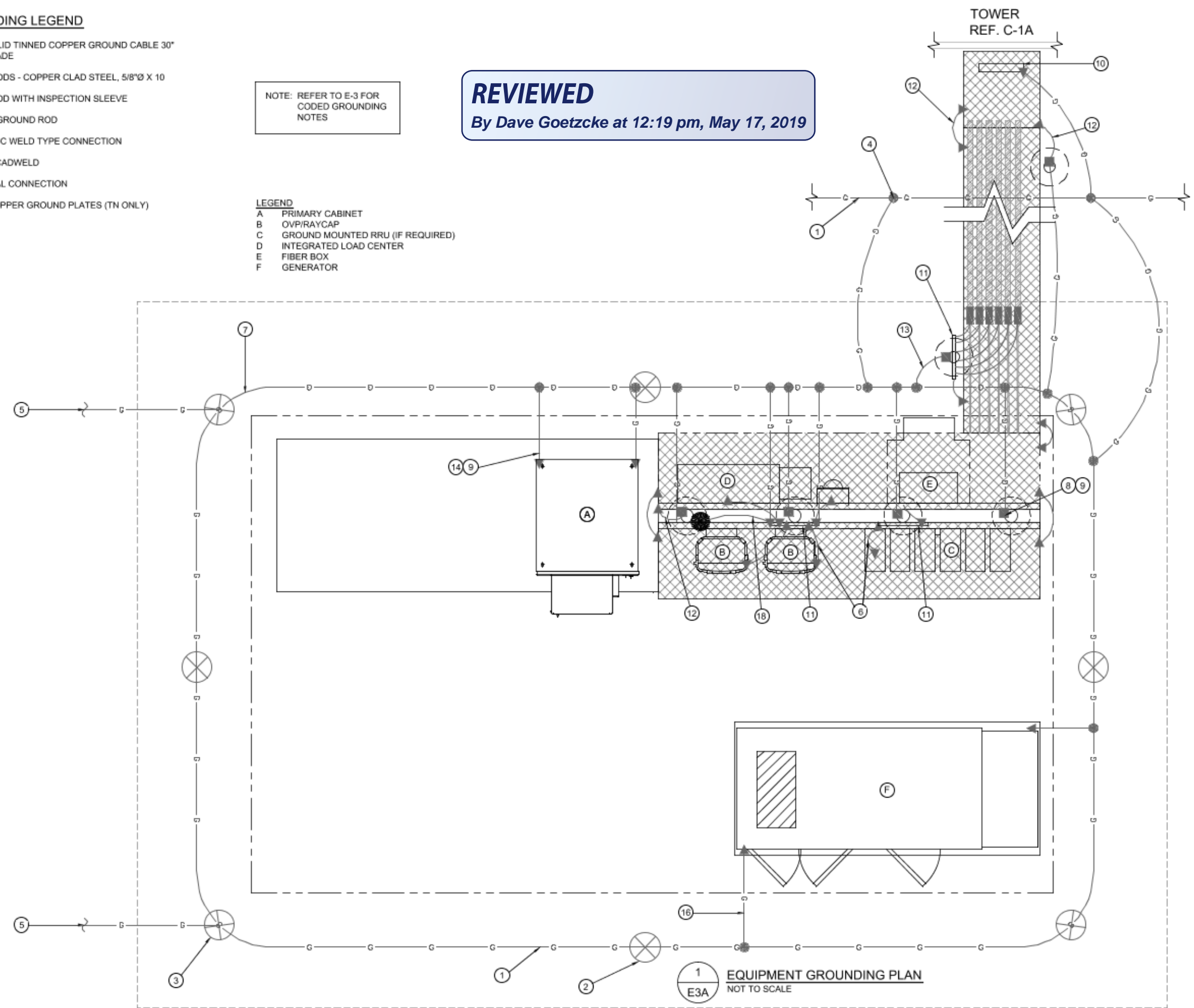
GROUNDING LEGEND

- □ — #2 AWG SOLID TINNED COPPER GROUND CABLE 30" BELOW GRADE
- ⊗ GROUND RODS - COPPER CLAD STEEL, 5/8"Ø X 10
- ⊙ GROUND ROD WITH INSPECTION SLEEVE
- ⊙//// CHEMICAL GROUND ROD
- EXOTHERMIC WELD TYPE CONNECTION
- PARALLEL CADWELD
- ▲ MECHANICAL CONNECTION
- ⊠ 18" X 18" COPPER GROUND PLATES (TN ONLY)

NOTE: REFER TO E-3 FOR CODED GROUNDING NOTES

REVIEWED
By Dave Goetzcke at 12:19 pm, May 17, 2019

- LEGEND**
- A PRIMARY CABINET
 - B OVP/RAYCAP
 - C GROUND MOUNTED RRU (IF REQUIRED)
 - D INTEGRATED LOAD CENTER
 - E FIBER BOX
 - F GENERATOR



1
E3A EQUIPMENT GROUNDING PLAN
NOT TO SCALE

PREPARED FOR:
verizon
10300 OLD ALABAMA ROAD CONNECTOR
ALPHARETTA, GA 30022

TOWER OWNER:
MUNICIPAL COMMUNICATIONS, LLC
MUNICIPAL COMMUNICATIONS, LLC
3495 PIEDMONT RD NE, SUITE 411
ATLANTA, GA 30305

A&E FIRM:
towersource
1875 OLD ALABAMA ROAD, SUITE 1008
ROSWELL, GA 30076
TEL: [REDACTED] FAX: [REDACTED]

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A&E PROJECT #:	--
SITE LOCATION CODE:	--
DRAWN BY:	MYM
CHECKED BY:	MEW

REVISIONS		
NO.	DATE	DESCRIPTION
A	03/27/18	ISSUED FOR REVIEW
0	04/19/18	ISSUED FOR CONSTRUCTION



VERIZON WIRELESS SITE NAME:
COMMODORE

TOWER OWNER SITE #:
MUNICIPAL COMMUNICATIONS, LLC

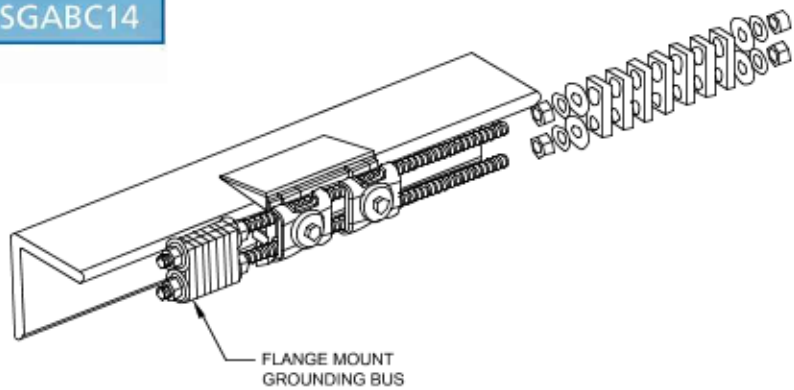
DESIGN TYPE:
COLOCATION

SHEET TITLE:
EQUIPMENT GROUNDING PLAN

DRAWING NO. E-3A	REVISION NO. 0	TS v. 3.01
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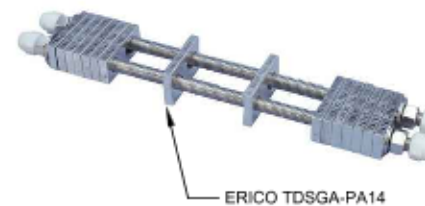
ERICO TDSGA-BC14
TDSGABC14



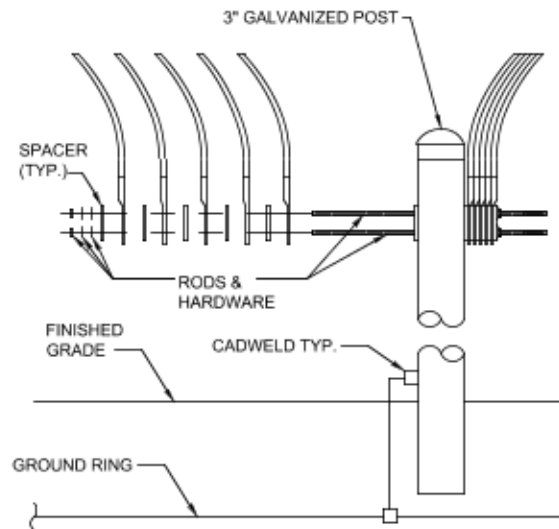
1 ERICO TDSGA-BC14
E4 NOT TO SCALE

REVIEWED

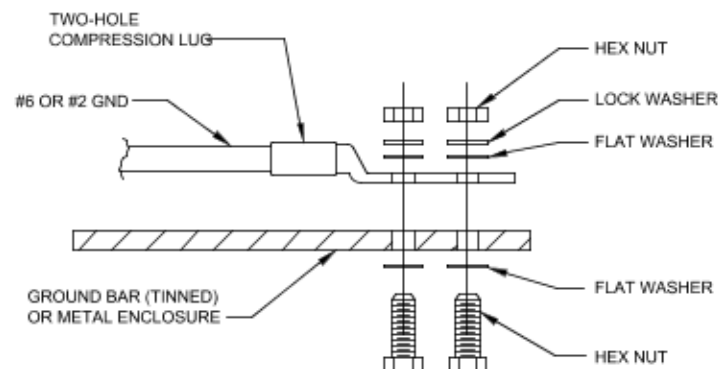
By Dave Goetzcke at 12:19 pm, May 17, 2019



ERICO TDSGA-PA14

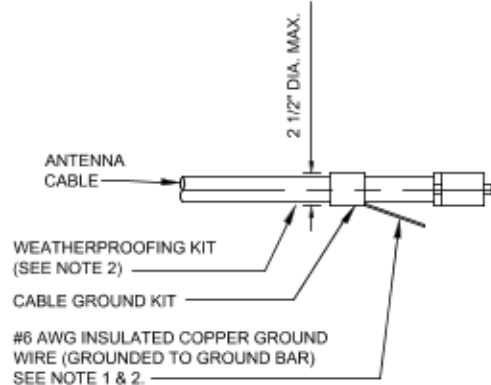


2 ERICO TDSGA-PA14
E4 NOT TO SCALE



- INSTALLATION NOTES:**
1. BOLTS, WASHERS, AND NUTS SHALL BE STAINLESS STEEL.
 2. SELECT BOLT LENGTH TO PROVIDE A MINIMUM OF TWO EXPOSED THREADS.
 3. BURNISH MOUNTING SURFACE TO REMOVE PAINT IN THE AREA OF LUG CONTACT.
 4. APPLY ANTI-OXIDANT COMPOUND TO MATING SURFACE OF LUG AND WIPE CLEAN EXCESS COMPOUND.
 5. USE 1/4" HARDWARE FOR ATTACHMENT TO METAL ENCLOSURES & 3/8" FOR ATTACHMENT TO GROUND BARS.
 6. ALL BOLTS MUST HAVE AT LEAST 2 THREAD ENGAGEMENT.

3 GROUNDING CONNECTION TO GROUND BAR OR FLAT SURFACE
E4 NOT TO SCALE



- GROUND KIT NOTES:**
1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
 2. GROUNDING KIT AND WEATHER PROOFING KIT SHALL BE OF THE SAME TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.

4 CONNECTION OF CABLE GROUND KIT TO ANTENNA CABLE
E4 NOT TO SCALE

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A&E PROJECT #:	--
SITE LOCATION CODE:	--
DRAWN BY:	MYM
CHECKED BY:	MEW

REVISIONS		
NO.	DATE	DESCRIPTION
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0	04/19/18	ISSUED FOR CONSTRUCTION



TOWER OWNER:
MUNICIPAL COMMUNICATIONS, LLC
 MUNICIPAL COMMUNICATIONS, LLC
 3495 PIEDMONT RD NE, SUITE 411
 ATLANTA, GA 30305

A&E FIRM:
towersource
 1875 OLD ALABAMA ROAD, SUITE 1008
 ROSWELL, GA 30076
 TEL: [REDACTED] FAX: [REDACTED]

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CHECKED BY:	MEW

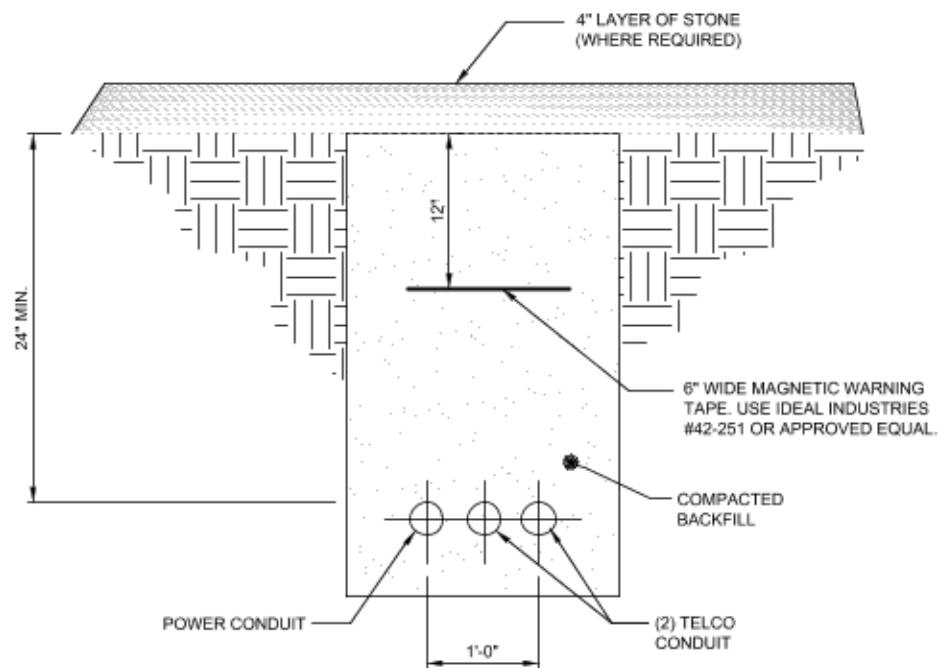
REVISIONS		
NO.	DATE	DESCRIPTION
A	03/27/18	ISSUED FOR REVIEW
0	04/19/18	ISSUED FOR CONSTRUCTION



VERIZON WIRELESS SITE NAME:
COMMODORE
 TOWER OWNERS SITE #:
 MUNICIPAL COMMUNICATIONS, LLC
 DESIGN TYPE:
COLOCATION

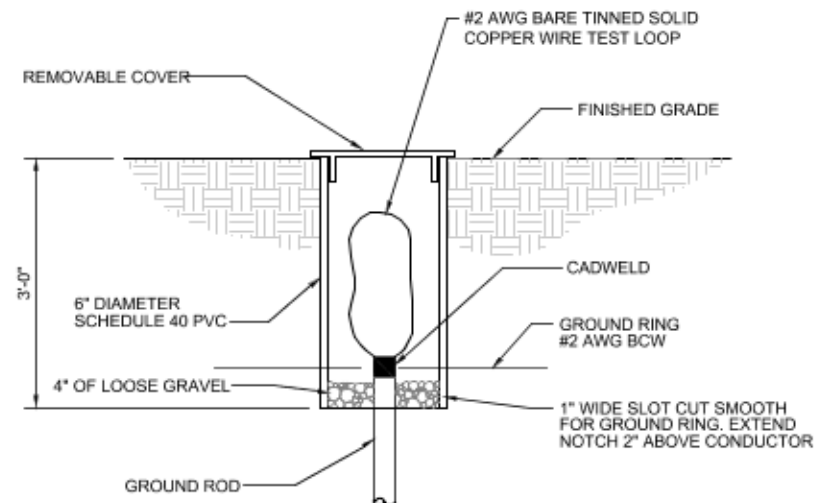
SHEET TITLE:
GROUNDING DETAILS

DRAWING NO. E-4A	REVISION NO. 0	TS v. 3.01
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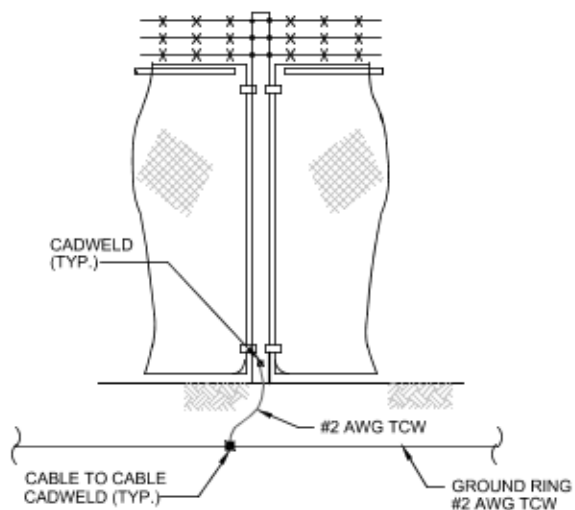


NOTE: TYPICAL SPACING FOR ALL UNDERGROUND CONDUITS

1
E4A TRENCH DETAIL
 NOT TO SCALE



2
E4A GROUND ROD INSPECTION WELL
 NOT TO SCALE



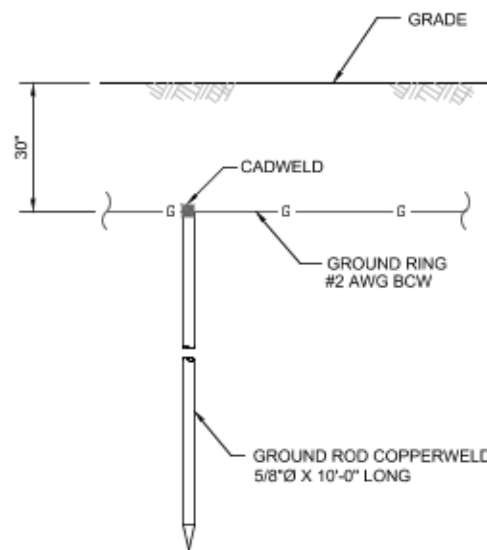
NOTE:

- GROUND EACH FENCE POST THAT IS WITHIN 6 FT. OF A GROUNDED METAL OBJECT.
- CORNER FENCE POSTS TO CONNECT DIRECTLY TO GROUND ROD. (RAWLAND ONLY)

3
E4A FENCE GROUNDING
 NOT TO SCALE

REVIEWED

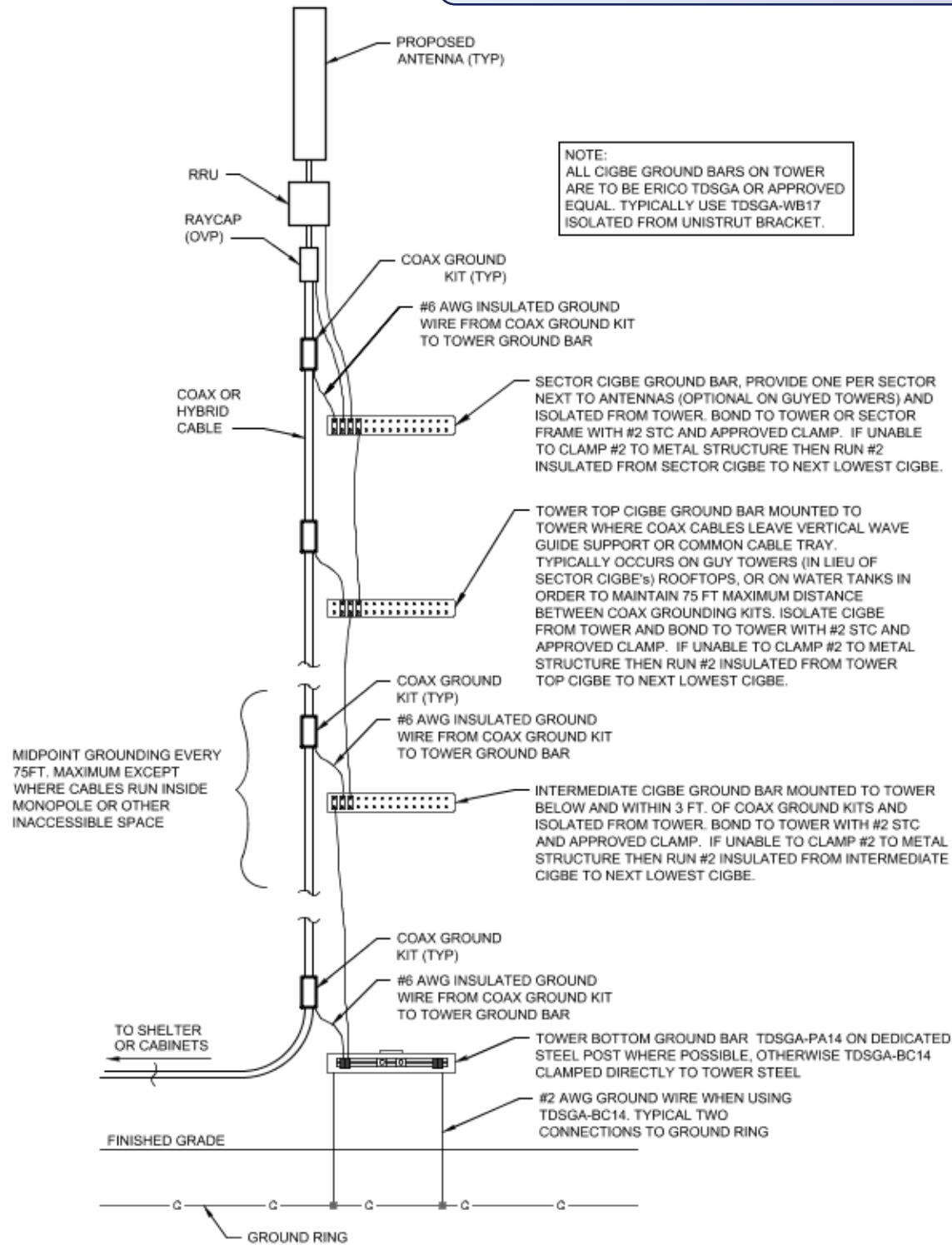
By Dave Goetzcke at 12:19 pm, May 17, 2019



4
E4A GROUND ROD DETAIL
 NOT TO SCALE

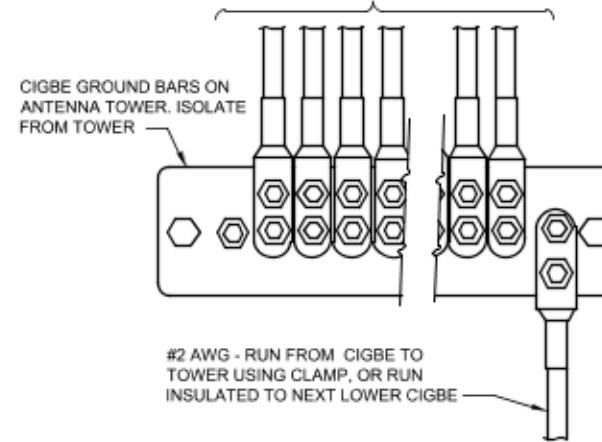
REVIEWED

By Dave Goetzcke at 12:19 pm, May 17, 2019



1
E4B COAX/TOWER GROUNDING SCHEMATIC
NOT TO SCALE

#6 AWG FROM ANTENNA COAX GROUND KIT. (FOR TOWER TOP CIGBE'S OCCURS ONLY ON GUYED TOWERS, OR ON OTHER STRUCTURES WHERE REQUIRED TO ACHIEVE 75FT. MAXIMUM DISTANCE BETWEEN COAX GROUNDING LOCATIONS)



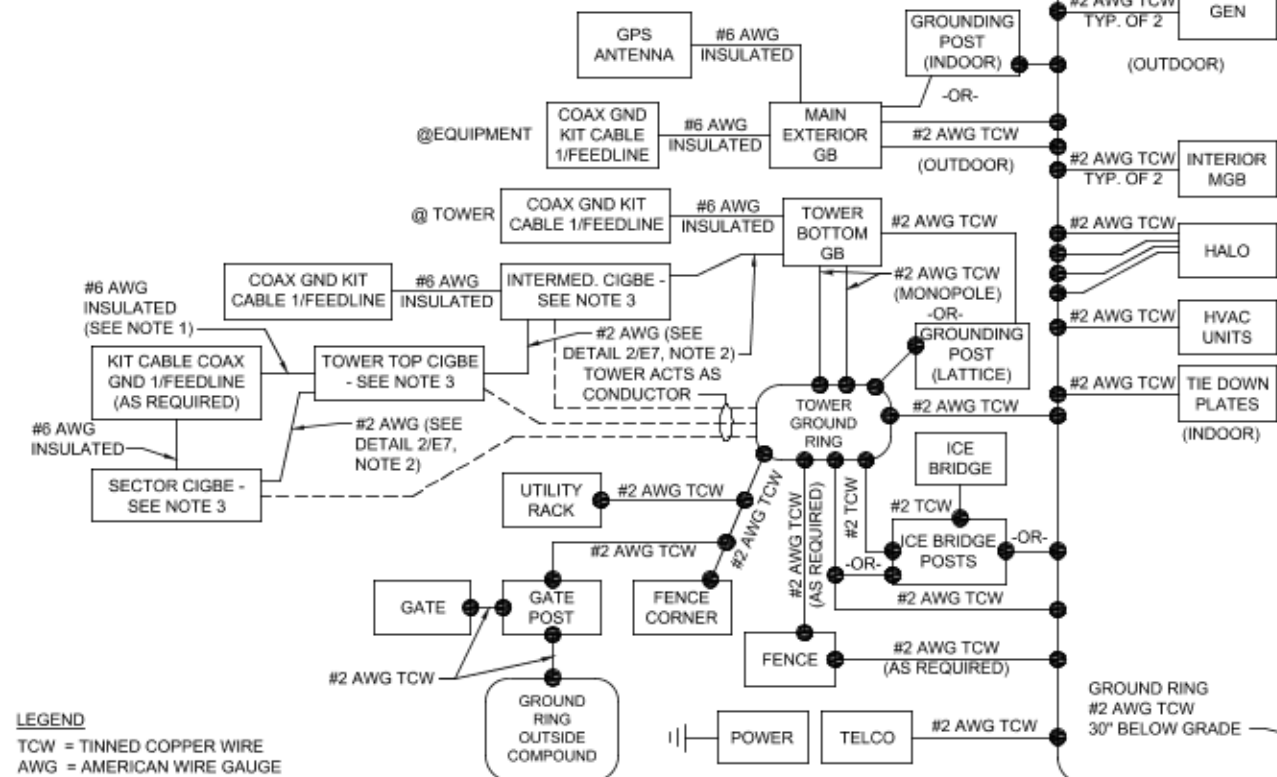
2
E4B ANTENNA GROUND WIRE INSTALLATION
NOT TO SCALE

NOTES:

1. ALL CIGBE GROUND BARS ON TOWER ARE TO BE ERICO TDGSA. TYPICALLY USE TDGSA-WB17 ISOLATED FROM TOWER AND CONNECTED TO UNISTRUT BRACKET.
2. IF CIGBE CANNOT BE CONNECTED TO TOWER WITH #2 AWG AND CLAMP (OR CADWELD), THEN RUN #2 BLACK INSULATED GROUND LEAD FROM CIGBE DOWN TO NEXT LOWER CIGBE. SECURE GROUND LEAD WITH NON-METALLIC TIES AT SAME SPACING AS COAX SUPPORTS.

NOTES:

1. CONNECT COAX GROUND KITS DIRECTLY TO TOWER TOP CIGBE ONLY AS NOTED ON DETAIL 2/E7.
2. FOR GROUNDING CONNECTIONS AND DETAILS, SEE SITE GROUNDING PLAN.
3. ALL GROUND BARS WILL BE ISOLATED FROM TOWERS BUT BONDED TO TOWER WITH #2 STC AND CLAMP (OR CADWELD) UNLESS NOTED OTHERWISE.
4. ALL #2 AWG TCW MUST BE SOLID TINNED.



LEGEND
TCW = TINNED COPPER WIRE
AWG = AMERICAN WIRE GAUGE
CIGBE = COAX ISOLATED GROUND BAR, EXTERNAL
GND = GROUND

3
E4B GROUNDING SYSTEM SINGLE LINE DIAGRAM
NOT TO SCALE

TOWER OWNER:
MUNICIPAL COMMUNICATIONS, LLC
MUNICIPAL COMMUNICATIONS, LLC
3495 PIEDMONT RD NE, SUITE 411
ATLANTA, GA 30305

A&E FIRM:
towersource
1875 OLD ALABAMA ROAD, SUITE 1008
ROSWELL, GA 30076
TEL: [REDACTED] FAX: [REDACTED]

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CHECKED BY:	MEW

REVISIONS		
NO.	DATE	DESCRIPTION
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0	04/19/18	ISSUED FOR CONSTRUCTION



VERIZON WIRELESS SITE NAME:
COMMODORE

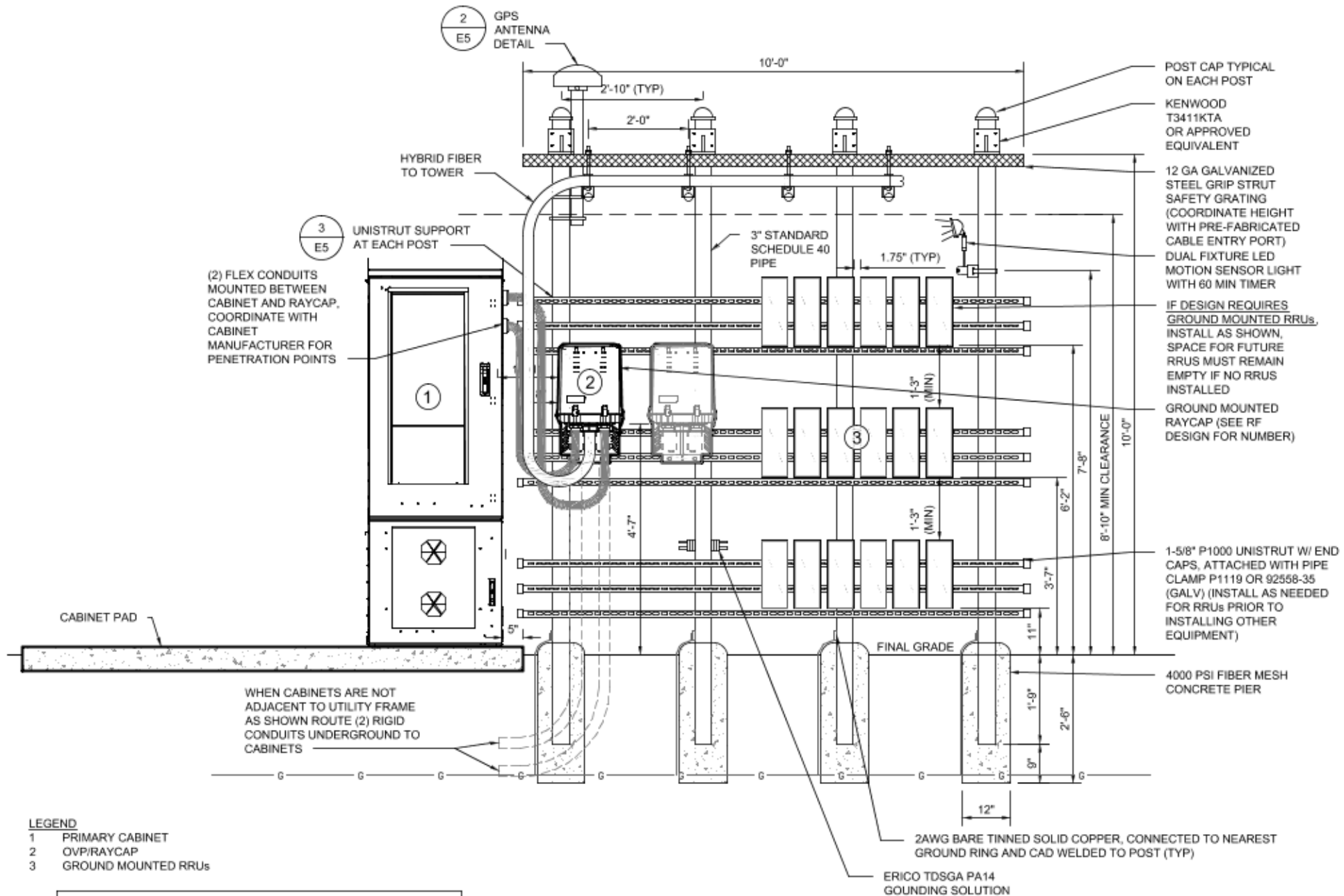
TOWER OWNERS SITE #:
MUNICIPAL COMMUNICATIONS, LLC

DESIGN TYPE:
COLOCATION

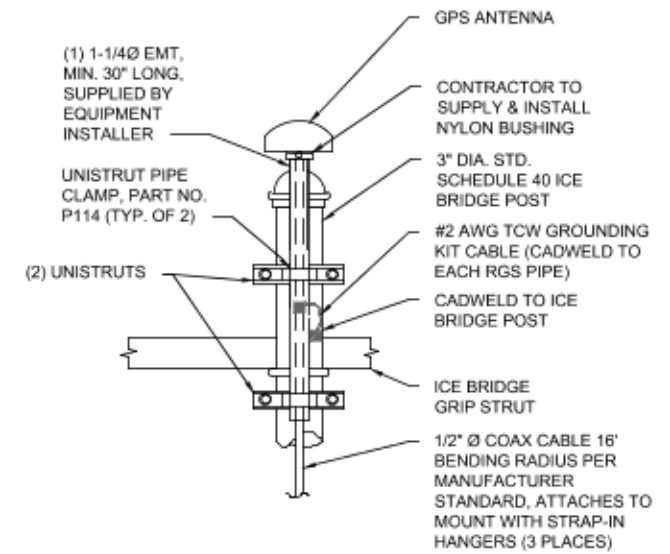
SHEET TITLE:
GROUNDING DETAILS

REVIEWED

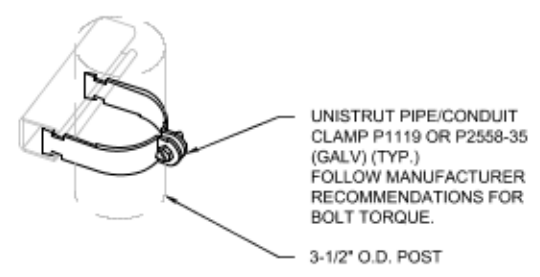
By Dave Goetzcke at 12:19 pm, May 17, 2019



1
E5
UTILITY FRAME (FRONT)
NOT TO SCALE



2
E5
GPS ANTENNA DETAIL
NOT TO SCALE



3
E5
UNISTRUT SUPPORT
NOT TO SCALE

- LEGEND**
- 1 PRIMARY CABINET
 - 2 OVP/RAYCAP
 - 3 GROUND MOUNTED RRU's

- NOTES:**
1. ACTUAL LAYOUT OF EQUIPMENT ON UTILITY FRAME MAY NEED TO BE ADJUSTED BASED ON UTILITY REQUIREMENTS. MUST LEAVE ROOM FOR GROUND MOUNTED RRU's. SEE ONE-LINE ON E-1 FOR CONDUIT SIZES.
 2. OVP's SHALL BE USED FOR TOWER MOUNTED RRU's ONLY, NOT APPROVED FOR GROUND MOUNTED RRU's
 3. BOND EACH PIECE OF EQUIPMENT TO BAR NONE PER MANUFACTURER'S SPECIFICATIONS

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CHECKED BY:	MEW

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NO.	DATE	DESCRIPTION
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VERIZON WIRELESS SITE NAME:

COMMODORE

TOWER OWNERS SITE #:
MUNICIPAL COMMUNICATIONS, LLC

DESIGN TYPE:
COLOCATION

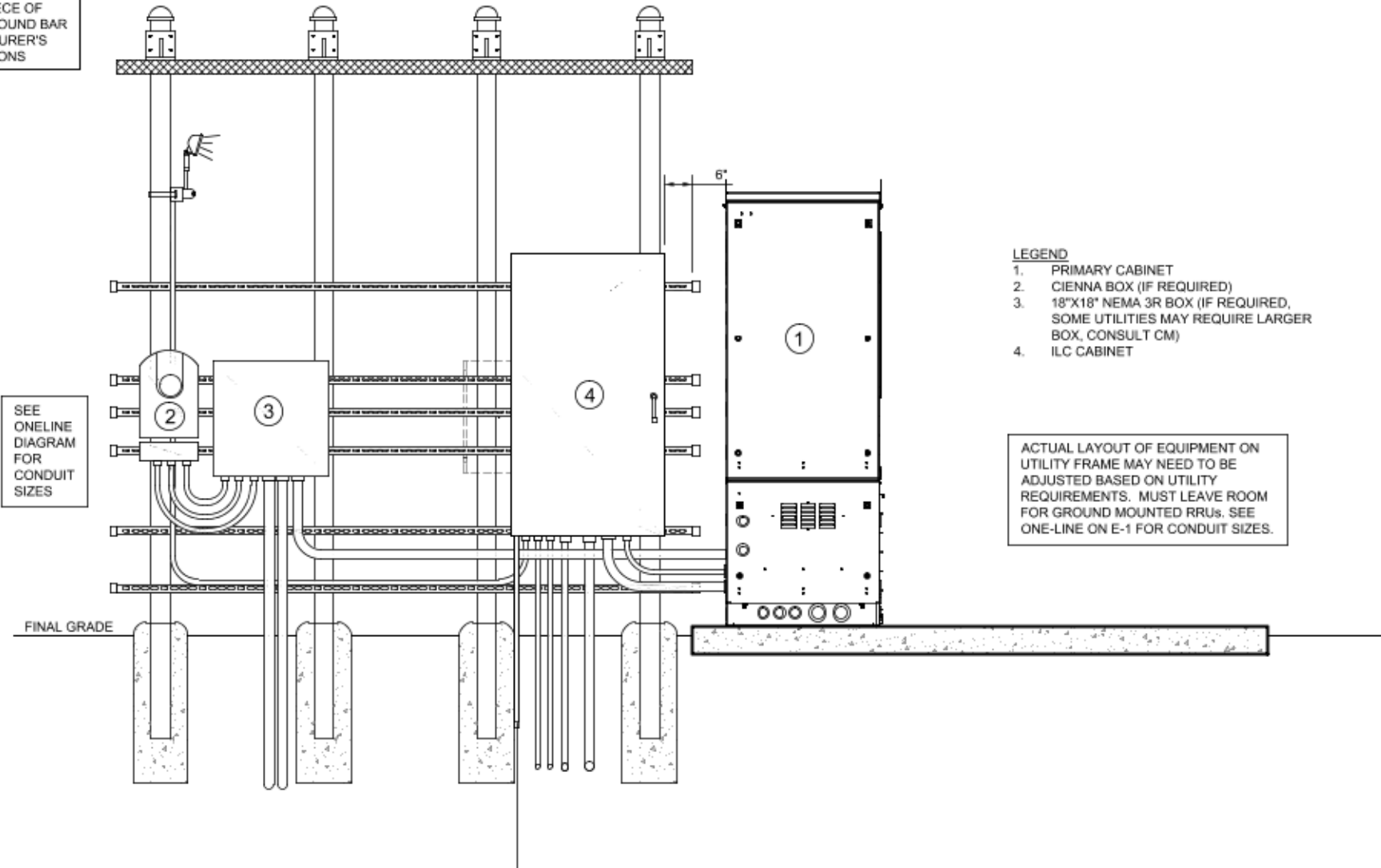
SHEET TITLE:
UTILITY FRAME ELEVATION (FRONT)

DRAWING NO. E-5	REVISION NO. 0	TS v. 3.01
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REVIEWED

By Dave Goetzcke at 12:20 pm, May 17, 2019

BOND EACH PIECE OF EQUIPMENT TO GROUND BAR PER MANUFACTURER'S SPECIFICATIONS



SEE ONE-LINE DIAGRAM FOR CONDUIT SIZES

LEGEND

- 1. PRIMARY CABINET
- 2. CIENNA BOX (IF REQUIRED)
- 3. 18"x18" NEMA 3R BOX (IF REQUIRED, SOME UTILITIES MAY REQUIRE LARGER BOX, CONSULT CM)
- 4. ILC CABINET

ACTUAL LAYOUT OF EQUIPMENT ON UTILITY FRAME MAY NEED TO BE ADJUSTED BASED ON UTILITY REQUIREMENTS. MUST LEAVE ROOM FOR GROUND MOUNTED RRUs. SEE ONE-LINE ON E-1 FOR CONDUIT SIZES.

1 UTILITY FRAME (BACK)
E6 NOT TO SCALE

PREPARED FOR:
verizon
10300 OLD ALABAMA ROAD CONNECTOR
ALPHARETTA, GA 30022

TOWER OWNER:
MUNICIPAL COMMUNICATIONS, LLC
MUNICIPAL COMMUNICATIONS, LLC
3495 PIEDMONT RD NE, SUITE 411
ATLANTA, GA 30305

A&E FIRM:
towersource
1875 OLD ALABAMA ROAD, SUITE 1008
ROSWELL, GA 30076
TEL: [REDACTED] FAX: [REDACTED]

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SITE LOCATION CODE:	--
DRAWN BY:	MYM
CHECKED BY:	MEW

REVISIONS		
NO.	DATE	DESCRIPTION
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0	04/19/18	ISSUED FOR CONSTRUCTION



VERIZON WIRELESS SITE NAME:
COMMODORE
TOWER OWNER SITE #:
MUNICIPAL COMMUNICATIONS, LLC
DESIGN TYPE:
COLOCATION

SHEET TITLE:
UTILITY FRAME ELEVATION (BACK)

DRAWING NO. E-6	REVISION NO. 0	TS v. 3.01
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CERTIFICATE OF OCCUPANCY

City of Powder Springs

This certificate is issued pursuant to the requirements of the adopted building code, certifying that at the time of issuance this structure was in compliance with the various ordinances of City of Powder Springs regulating building construction and use.

Site Address: 3215 New Macland Road,
Powder Springs, GA 30127

Building Permit #: 17PDR-00416

Permit Type: Commercial Addition

Owner Name: Municipal Corporations

Parcel Number: 19072500020

Lot:

Owner Address: 3495 Piedmont Road NE,
Atlanta, GA 30305

Block: 19072500020

Type of Construction: Cell Tower

Subdivision:

Occupancy: Commercial


Zoning District:

Code Edition: 2012 International Building Code

Building Official: Paul Hardy

Auto Sprinkler Required: No

Auto Sprinkler Provided: No



Building Official - 12/28/2018
for Building Official

N/A

Zoning Administrator - 12/28/2018

N/A

Fire Marshall - 12/28/2018

CERTIFICATE OF OCCUPANCY

City of Powder Springs

This certificate is issued pursuant to the requirements of the adopted building code, certifying that at the time of issuance this structure was in compliance with the various ordinances of City of Powder Springs regulating building construction and use.

Site Address: 3215 New Macland Road,
Powder Springs, GA 30127

Building Permit #: 19PDR-00076

Permit Type: Commercial Remodel

Owner Name: Municipal Corporations

Parcel Number: 19072500020

Lot:

Owner Address: 3495 Piedmont Road NE,
Atlanta, GA 30305

Block: 19072500020

Type of Construction:

Subdivision:

Occupancy: U Utility, miscellaneous


Zoning District:

Code Edition: 2012 International Building Code
(IBC) w/ GA Amendments

Building Official: Paul Hardy

Auto Sprinkler Required: No

Auto Sprinkler Provided: No



Building Official - 12/12/2019
(For Paul Hardy)

Zoning Administrator - 12/12/2019

Fire Marshall - 12/12/2019

Reviewed



JAN 31 2018

for code compliance

NOTE: Every effort has been made to identify code violations. Any code violation identified by the reviewer shall not be considered a violation of the authority to violate, set aside, or alter applicable codes or ordinances. The reviewer's review and permit issuance is not considered a warranty of quality.

John Throckmorton
Municipal Communications
3495 Piedmont Road, NE
Eleven Piedmont Center, Suite 411
Atlanta, GA 30305
Personal

Ref: Design and failure modes for a 170' AGL Tapered Monopole
Quality of Steel and Fabrication of a Monopole Structure
Valmont Project No. 395536
Site Name: Commodore, GA
Pole to be designed with a Maximum Theoretical Fall Radius of 28'
Code: ANSI/TIA-222-G-2-2009

Tapered Monopole Design Standards and Failure Modes:

- Communications monopole structures designed by Valmont are sized in accordance with the latest governing revision of the ANSI/TIA 222 standard unless otherwise requested by our customer. This standard has been approved by ANSI/ASCE, which has dealt with the design of antenna support structures for over 40 years. The TIA standard, based on provisions of this nationally known specification, has a long history of reliability. At its core philosophy is it's first and foremost priority to safeguard and maintain the health and welfare of the public.
- The TIA standard designates a minimum wind loading for each county in the United States. Valmont uses the wind loading listed in the TIA standard unless a greater value is specified by our customer. Structures are also designed for radial ice at a code specified reduced design wind loading. Code designated coefficients are used to ensure that the structure will survive the designed wind speed. The structure can usually survive even a greater wind load than the basic design wind speed because of these conservative coefficients.
- Design and loading assumptions that are used for the analyses of these structures are very conservative in nature when compared to other codes, which makes structural failure highly improbable.
- Failure of a steel monopole occurs when a point is reached where the induced stresses exceed the yield strength of the material. At this point, the deflections induced in the material are no longer temporary. Hence, a permanent deflection in the monopole would exist.
- The term failure above refers to local buckling at a designated point on the pole. Local buckling does not cause a free falling pole; rather it relieves the stresses from the pole at this location. Monopoles are flexible, forgiving structures, which are not generally susceptible to damage by impact loads such as wind gust or earthquake shocks.
- When local buckling occurs, a relatively small portion of the shaft distorts and "kinks" the steel. When the pole begins to bend the exposure area is reduced and therefore, the force due to wind is decreased as well. Even though buckling exists, the cross section of the pole is capable of carrying the entire vertical load. Therefore, wind induced loads could not conceivably bring this type of structure to the ground due to the excellent ductile properties, design criteria, and failure mode.
- Valmont's communication poles have proven to be very reliable products. Valmont has provided structures that have performed well during earthquakes in California, hurricanes in the South (including Hugo, Andrew, Opal and Katrina), and a number of tornadoes. In over 25 years of engineering and fabricating thousands of monopoles, to our knowledge Valmont has never experienced an in service failure of a communication pole due to weather induced overloading, even though, as in the cases of Hurricanes Hugo, Andrew and Katrina, the wind speeds exceeded the design wind speed. We use the latest standards, wind speed information, and sophisticated analytical tools to ensure that we maintain our unblemished record for quality.

valmont

STRUCTURES

Valmont Quality of Steel and Manufacturing:

- Monopoles are fabricated from ASTM A572 Grade 65 material with a controlled silicon content of 0.06% maximum to ensure a uniform galvanized coating. The base material is fabricated from Grade 50 material. All plate material meets a V-Notch toughness requirement of 15 ft-lbs. @ -20 degrees Fahrenheit. By meeting the strict toughness requirement, monopoles are best suited to resist the cyclic/fatigue type loading (i.e. wind induced loading) these structures exhibit.
- Valmont's anchor bolts are fabricated from A615 Grade 75 material. The bolts are typically 2 ¼ in diameter, made from #18J bar stock. Anchor bolts come complete with five (5) A194 Grade 2H hex nuts.
- For the past 40 years, our company has always guaranteed the quality of the steel used in building our structures. Material Certifications are available on all material at the time of fabrication. Fabrication of the monopole is performed in accordance with the provisions of the AISC Manual of Steel Construction and ASCE's Design of Steel Transmission Pole Structures. All welding and inspection is in accordance with the American Welding Society's Specification D1.1-latest revision. Testing and inspection reports are available upon request at the time of fabrication.

In addition, this monopole can be designed to theoretically fail at approximately 142' AGL or above by purposely over designing the pole sections below this point. In the unlikely event the pole were to fail at this point, the significant loading reduction caused by the removal of the tower wind area and weight above would greatly reduce any chance that the remaining tower would have any structural damage, thereby providing a maximum theoretical failure radius of approximately 28' for the 170' AGL monopole.

I hope these comments address any issues that you might encounter relative to the anticipated performance of monopole structures and quality of steel fabrication. If you have additional questions or comments, I may be reached at **Personal** or **Personal Privacy**.

Sincerely,

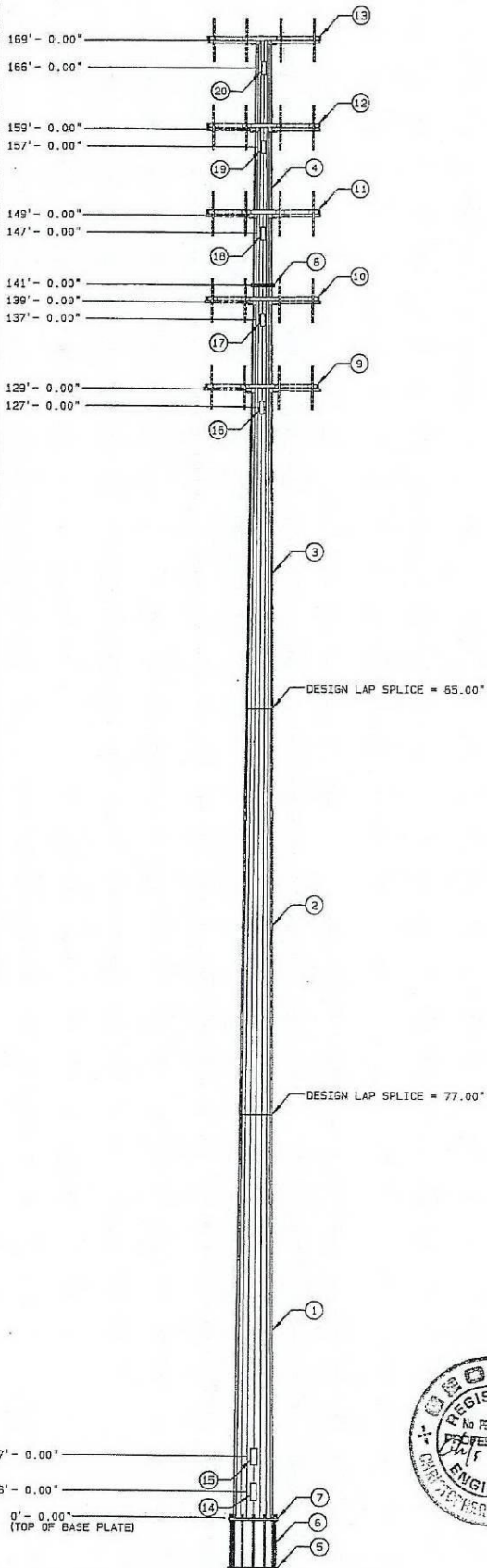


Nathan Ross, PE
Intermediate Engineer

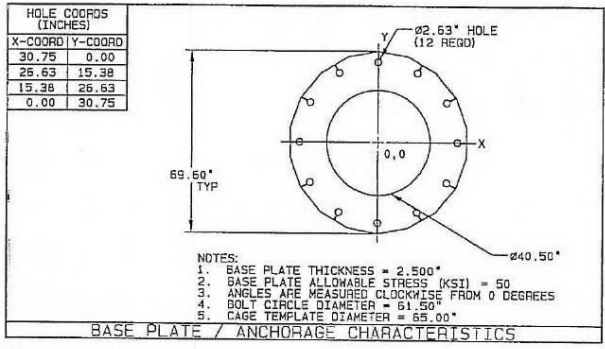


EXPIRES ON

DEC 31 2018



ITEM ID	NO. REGD	FEATURES	UNIT WEIGHT (LBS)	WEIGHT (LBS)
1	1	SECTION A VALMONT S-22 0.375" THK (A572 GR65)	10,316	10,316
2	1	SECTION B VALMONT S-22 0.313" THK (A572 GR65)	7,061	7,061
3	1	SECTION C VALMONT S-22 0.250" THK (A572 GR65)	4,204	4,204
4	1	SECTION D VALMONT S-22 0.219" THK (A572 GR65)	1,638	1,638
5	1	BOTTOM CAGE PLATE	126	126
6	12	2.25" ANCHOR BOLT, LENGTH=6.00' A615 GR75	110	1,316
7	1	BASE PLATE VALMONT S-56 2.500" THK (A572 GR50)	1,997	1,997
8	2	FLANGE PLATE	315	629
9	1	CARRIER 5	3,900	3,900
10	1	CARRIER 4	3,500	3,500
11	1	CARRIER 3	3,500	3,500
12	1	CARRIER 2	3,500	3,500
13	1	RMGP-496 W/PRK 1245	1,600	1,600
	1	TOP CAGE PLATE (REMOVE BEFORE SETTING POLE)	164	164
14	1	BOLT 0.75" DIA		
	1	SAFETY CLIMBING CABLE (LENGTH = 159.00')	113	113
	3	GROUNDING LUG	2	6
		GALVANIZING	530	530
126		STEP AND CLIP (VALMONT STANDARD)	1	63
14	2	HAND HOLE STD (9" x 24")	48	96
15	3	HAND HOLE STD (9" x 24")	48	144
16	3	HAND HOLE STD (6" x 18")	18	54
17	3	HAND HOLE STD (6" x 18")	18	54
18	3	HAND HOLE STD (6" x 18")	18	54
19	3	HAND HOLE STD (6" x 18")	18	54
20	3	HAND HOLE STD (6" x 18")	18	54
	1	POLE CAP	26	26

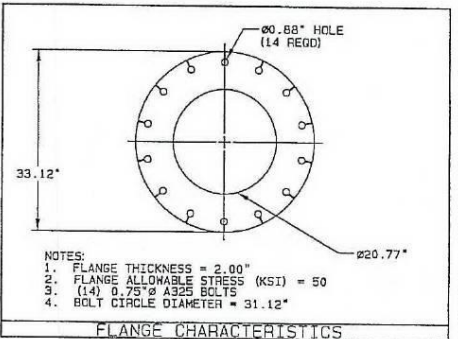


NOTES:

- FACTORED REACTIONS FOR FOUNDATION DESIGN:
 MOMENT = 47,089 IN-KIPS
 SHEAR = 29,069 #
 VERTICAL = 52,191 #
- GALVANIZED PER ASTM A-123.
- DESIGN CRITERIA: ANSI/TIA 222-G ADDENDUM 2
- THIS STRUCTURE HAS BEEN DESIGNED FOR THE FOLLOWING LOADING:
 EXPOSURE CATEGORY = B
 STRUCTURE CLASSIFICATION = 2
 TOPOGRAPHY CATEGORY = 1
 WIND LOAD CASES ARE BASED ON 3 SECOND GUST AND 50 YEAR WIND RETURN PERIOD
 A. CASE 1: WIND = 90 MPH WIND SPEED
 B. CASE 2: WIND = 30 MPH ICE AND WIND SPEED
 DESIGN ICE THICKNESS = 0.75 INCH
 C. CASE 3: WIND = 60 MPH WIND SPEED
 D. EQUIPMENT

DESCRIPTION	ABP HT (FT)	ABP CENTROID (FT)	WITHOUT ICE (FT**2)	EFA WT (LBS)	WITH ICE (FT**2)	EFA WT (LBS)
5-NWH-65B-R2B	169.00	169.00	37.62	360	55.25	1530
3-ERICSSON RADIO 4449	169.00	169.00	3.36	300	5.43	465
6-ERICSSON 2212 B2	169.00	169.00	17.64	600	30.96	1050
6-ERICSSON 2212 B66A	169.00	169.00	9.30	600	14.04	1050
1-RMGP-496 W/PRK 1245	159.00	159.00	20.00	1600	32.00	2600
1-CARRIER 2	159.00	159.00	96.00	3500	145.00	8000
1-CARRIER 3	149.00	149.00	96.00	3500	145.00	8000
1-CARRIER 4	139.00	139.00	96.00	3500	145.00	8000
1-CARRIER 5	129.00	129.00	96.00	3500	145.00	8000
1-SFT LIGHTNING ROD	169.00	171.50	0.25	10	1.67	46
3-RAYCAP RC2DC-3315-PF-48 OVP	169.00	169.00	7.56	78	9.42	447

- FEEDLINES ARE PLACED INTERIOR TO POLE SHAFT (UNLESS NOTED OTHERWISE).
- TOTAL POLE HEIGHT IS 170 FT AGL.
- ELEVATIONS ARE MEASURED FROM TOP OF BASE PLATE (APPROX. 1 FT AGL).
- 18 SIDED SHAFT
- POLE DESIGNED WITH A 28 FT THEORETICAL FALL ZONE



SECTION INFORMATION					
ITEM ID	LENGTH	BASE OD	TOP OD	THK	MATL
1	52'-6.00"	54.00"	43.79"	0.375"	A572 65 KSI
2	31'-11.00"	45.65"	35.95"	0.313"	A572 65 KSI
3	48'-5.00"	37.12"	27.70"	0.250"	A572 65 KSI
4	28'-0.00"	27.70"	22.25"	0.219"	A572 65 KSI

From: [John Throckmorton](#)
To: [Alex Almodovar](#)
Cc: [Tina Garver](#)
Subject: RE: 3215 New Macland Road Cell Tower Update
Date: Friday, February 09, 2018 10:59:51 AM
Attachments: [395536 - Stamped Permit Drawing.pdf](#)
[395536 - Stamped Fall Zone Letter.pdf](#)

Alex,

The breakpoint is between 141' and 142' (29' from the top) per the attached drawing and letter (page 2). We will make the other change and get the electronic set back to you.

Regards,
John

Municipal Communications, LLC
Cell- **Personal**
Direct Office- **Personal**
Office- **Personal**

-----Original Message-----

From: Alex Almodovar [<mailto:> **Personal Privacy Information**]
Sent: Wednesday, February 07, 2018 11:31 AM
To: John Throckmorton
Cc: Tina Garver
Subject: RE: 3215 New Macland Road Cell Tower Update

Good morning John,

The building plans have been approved by Safebuilt (please see attached). However, the Cobb County Fire Marshal's Office notes that The following note is required on the cover page inside a text block:

Site plan approval does not include tanks. Tanks shall be permitted separately to the Cobb County Fire Marshal's Office. The tank application and checklist is available at www.cobbfire.org.

Thus, please revise the latest structural building plan submittal to include this note, and send over digitally. I will send the digital plans to be stamped by both Cobb FMO and Safebuilt.

In addition, City staff would like to know what is the structural break point on the cell tower in reference to the zoning condition below?

Zoning condition (page 8, note 4.) "Monopole design should be such that structural breakpoint not be more than 30 feet below the top".

Lastly, I have sent the revised LDP plans for 3rd staff review.

Thanks,
Alex

-----Original Message-----

From: John Throckmorton [**Personal Privacy Information**]
Sent: Tuesday, February 06, 2018 2:33 PM

To: Alex Almodovar
Subject: FW: 3215 New Macland Road Cell Tower 2nd Staff Review

Alex,

Here are the revised drawings showing the 14' driveway, the 10' setback to the fence, all pages of the zoning minutes, and the change to the title of page CI01. Would you like us to mail in hard copies, and if so, how many sets?

Regards,
John

Municipal Communications, LLC
Cell- **Personal Privacy**
Direct Office- **Personal**
Office- **Personal**

-----Original Message-----

From: Peter Ryner | **Personal Privacy Information**
Sent: Tuesday, February 06, 2018 2:10 PM
To: John Throckmorton
Subject: RE: 3215 New Macland Road Cell Tower 2nd Staff Review

John,

Please see attached revised drawings.

Thank you,

Peter Ryner Jr
Project Manager \ Principal
Personal | Mobile **Personal**
2255 Sewell Mill Rd | Marietta GA | 30062 **Personal Privacy** www.infinigy.com