

Kevd 5-28-17
P. Powell

SAMS, LARKIN, HUFF & BALLI

A LIMITED LIABILITY PARTNERSHIP

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ADAM J. ROZEN

WWW.SLHB-LAW.COM

March 28, 2017

VIA HAND DELIVERY & EMAIL

COPY

Ms. Tina Garver, AICP
Community Development Director
City of Powder Springs
4488 Pineview Drive
Powder Springs, 30127

Re: Application of Municipal Communications, LLC for a Special Use Permit
(Telecommunications Tower) – 3215 New Macland Road

Dear Ms. Garver:

This firm represents Municipal Communications, LLC (“Applicant”) concerning the above-captioned Special Use Permit Application (“SUP”). In that regard, the Applicant is submitting its SUP Application concurrently herewith to request Approval of the construction, operation and maintenance of a Wireless Telecommunications Tower and related antenna and equipment (collectively the “Facility”) on an approximate 10,000 square foot (0.2296 acres) portion of the subject property (“Site”).

With respect to the foregoing and in keeping with discussions with the Applicant’s consultants, the Applicant herein submits the following:

STATEMENT OF PROPOSED SITE IMPROVEMENTS

The Property and the Site

The Site, owned by Money Management Consultants, LLC (“Owner”), is commercially zoned in the NRC zoning district with access located on the east side of New Macland Road north of its intersection with Macedonia Road. The totality of the property which surrounds the Site is located within the City of Powder Springs with the adjacent properties being both commercially and residentially zoned.

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The Applicant has acquired rights to the Site and the Facility pursuant to an easement. The Site is located towards the northern boundary of the easement property, placing the Facility in a position so that any potential adverse effects upon surrounding properties has been diminished. The Facility is a permitted use for the Site upon the issuance of the requested SUP.

The Facility/Proposed SUP

Based upon discussions with and recommendations from the Applicant's consultants, the Facility which the Applicant plans to construct will include telecommunications equipment designed to improve 4G coverage and data through-put for Verizon customers along New Macland Road, connecting to Powder Springs Road and Macland Road and all residential areas on both sides of New Macland Road. The Site is also proposed to be designed as a capacity site to provide capacity relief to existing Verizon sites.

The Applicant plans to construct a one hundred, seventy foot (170') high (including the lightning rod), multi-tenant, monopole tower; ground-mounted communications equipment and associated minor improvements to facilitate the operations and maintenance of and access to the Facility on the Site. The carrier located on the top of the tower at the "Rad Center" height of one hundred, sixty feet (160') shall be Verizon Wireless and there will be space for additional antenna arrays at heights approximately ten feet (10') apart. In that regard, the proposed Facility will comply with the design requirements under the City of Powder Springs' Unified Development Code ("UDC") as the same is amended from time to time, as there is and will be tower space for at least four (4) wireless carriers. Including the lightning rod, the tower will extend to a total of one hundred, seventy feet (170') in height.

The equipment and other associated Site improvements which are shown on the plans submitted concurrently with the SUP Application are limited to those uses associated with the operation of antennas or towers and are appropriate in scale and intensity. The entirety of the Facility will be enclosed with a six foot (6') high chain link fence with three (3) strands of barbed wire, as more particularly described within the enclosed plans. Additional details relating to the Site and the Facility are set forth in the plans consistent with the UDC.

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Access to the Facility will be via an access easement across the Owner's property with access/utility easement by way of New Macland Road. The Applicant confirms that the Facility will meet or exceed current standards of the Federal Aviation Administration ("FAA"), the Federal Communications Commission ("FCC") and all applicable agency requirements governing the construction and operation of Telecommunications Towers. The Applicant does not expect that the FAA will require the Facility to be lighted. Additionally included as a part of this submission is an FAA 1-A Survey Certification.

Once constructed, the Facility will be unmanned. Only quarterly site visits by Verizon maintenance technicians are anticipated. The Facility will not have water or sewer services and it will not generate any waste. The only utility connections required are electric and telephone services. The electricity demand of the Facility will be similar to that of a single-family residence. The Facility will not create a significant demand for community services. In fact, the Facility will provide a service to the community in the form of a safe, reliable and uninterrupted 4G wireless service for use by the general public, emergency services personnel and others within this sub-area of the City of Powder Springs.

The Facility will be an integral part of the Verizon Wireless Network across the City of Powder Springs, Cobb County and other portions of the Greater Atlanta area as more particularly described in the Cell Site Justification/Radio Frequency Report and Analysis which is being submitted concurrently with this Statement.

Constitutional Statement

The Applicant hereby notifies the City of Powder Springs of its constitutional concerns. If the City denies the Application, in whole or in part, then the property does not have a reasonable economic use under the UDC without the SUP. The Application meets the tests set out by the Georgia Supreme Court to be used in establishing the constitutional balance between private property rights and zoning and planning as an expression of the government's police power. If the City denies the Application, in whole or in part, such an action will deprive the Applicant and the Owner of the ability to use the property in accordance with its highest and best use. Similarly, if the City limits its approval of the SUP by attaching conditions adversely affecting any portion of the property without the Applicant's and/or the Owner's consent, then such action would deprive the Applicant and the Owner of certain reasonable uses and development of the property. Any such action is unconstitutional and will result in a taking of

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property rights in violation of the Just Compensation Clause of the Constitution of the State of Georgia and the Just Compensation Clause of the Fifth Amendment to the United States Constitution.

Any denial or conditional approval would discriminate between the Applicant and Owner and the owners of similarly situated properties in an arbitrary, capricious, unreasonable and unconstitutional manner in violation of the Georgia Constitution and the Equal Protection Clause of the Fourteenth Amendment to the United States Constitution. A denial or a conditional approval of the Application (with conditions not expressly approved by the Applicant) would constitute a gross abuse of discretion and an unconstitutional violation of the Applicant's rights to substantive and procedural due process as guaranteed by the Georgia Constitution and the Fifth and Fourteenth Amendments of the United States Constitution. The Applicant further challenges the constitutionality and enforceability of the UDC for its lack of objective standards, guidelines or criteria limiting the City's discretion in deciding applications for SUP(s).

Furthermore, the Telephone Communications Act of 1996, codified at 47 U.S.C. § 332(c) (the "1996 TCA"), as amended, was intended to "promote competition and reduce regulation in order to secure lower prices and higher quality services for American telecommunications for consumers and encourage the rapid deployment of new telecommunications technologies" (preamble to the 1996 TCA). The primary mechanisms used by the 1996 TCA to "promote competition and reduce regulation" are prohibitions against local regulations which (i) unreasonably discriminate among providers for functionally equivalent services" or (ii) "prohibit or have the effect of prohibiting the provisions of personal wireless services." 47 U.S.C. §332(c)(7)(B). Also, § 253 of the 1996 TCA provides that "no state or local statute or regulation . . . may prohibit or have the effect of prohibiting the ability of any entity to provide any interstate or intrastate telephone communications services." The City may violate the 1996 TCA on all three (3) grounds if it denies the Application. Nevertheless, the Applicant remains optimistic that the City's consideration of the Application will be conducted in a constitutional and legally permissible manner.

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UDC Requirements

Sec. 4-405 (b) and Sec. 4-430 (a – g) of the Powder Springs Unified Development Code sets forth requirements applicable to the placement of communications towers and antennas on property within the City. In satisfaction of these requirements and in addition to this statement contained in the filed Application, the Applicant hereby submits the following documents for the Community Development's review:

1. The original notarized signature of the property owner.
2. Completed Campaign Contribution Disclosure forms.
3. A copy of the Warranty Deed reflecting the record titleholder and describing the overall property which includes the property at issue.
4. Legal Descriptions of the Proposed Easement Area and the Proposed 20' Ingress-Egress & Utility Easement.
5. Copies of the 2016 Paid Tax receipts from Cobb County and the City of Powder Springs.
6. The completed Review Checklist Form and Analysis of Standards for Special Use Consideration.
7. A Cell Site Justification/Radio Frequency Report and Analysis submitted on behalf of Verizon Wireless by a Radio Frequency Engineer, Sri Hari Krishna Nimmagadda, dated March 6, 2017.
8. An FAA 1-A Survey Certification.
9. Complete set of Construction Documents and Civil Engineering Details.
10. Documentation reflecting all towers within a 3-mile radius of the proposed Facility which range in height from 130' – 225' (a total of nine [9] telecommunication tower sites).

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11. Photographic simulations approaching the Site from the north, south, east & west.

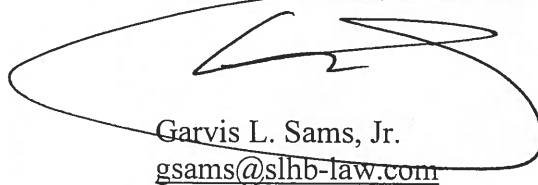
12. A check in the amount of \$250.00 made payable to the City of Powder Springs.

The Application and the accompanying documents support the Applicant's and the Owner's respective requests for the Facility SUP and comply with UDC requirements. The Owner and the Applicant requests that Community Development Department recommend approval of the Application.

Please do not hesitate to contact me should you have any questions or need any additional information or documentation concerning this submission. With kind regards, I am

Very truly yours,

SAMS, LARKIN, HUFF & BALLI, LLP



Garvis L. Sams, Jr.
gsams@slhb-law.com

GLS/klk
Attachments/Enclosures

cc: Ms. Pam Conner, City Manager (via hand delivery)
Ms. Lisa Cameron, Zoning Administrator (via hand delivery)
Mr. Peter Corry, CEO, Municipal Communications, LLC (via email w/attachments)
Mr. John Throckmorton, Vice President Municipal Communications, LLC (via email w/attachments)

Powder Springs Application Form

SPECIAL USE

Applicant: Municipal Communications, LLC Telephone No.: (404) 307-4202

Applicant's Address: 3495 Piedmont Rd., Eleven Piedmont Center, Ste. 411, Atlanta, GA 30305

Property Location: 3215 New Macland Road (On the eastern side of New Macland Road, north of intersection its with Macedonia Road) Land Lot No.: 725, 19th District

Applicant is: Property Owner Other: Attorney for Applicant (Attach Owner's Authorization)
 Other Representative of the Owner (Attach Owner's Authorization)

Current Zoning: NRC

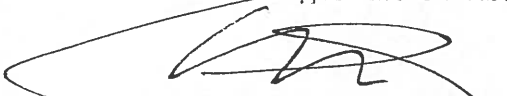
Type of Application

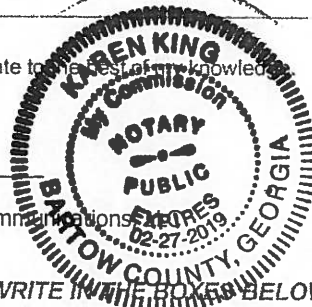
Special Use: Telecommunications Tower
 Change in Stipulations of Approval

Attachments

Application Fee Review Checklist
 Boundary Description Other: Statement of proposed site improvements.
 Sketch Plan (Not Required) Analysis of zoning standards in
 Impact Studies (Not Required) support of the Special Use Application.
 Campaign Contribution Form

I attest that this Application and its attachments are accurate to the best of my knowledge.


 Signature of Applicant (to be notarized)
 Garvis L. Sams, Jr., Attorney for Applicant, Municipal Communications



Sworn to and subscribed before me this
27 day of March 2017
Karen S. King
 Notary Public

DO NOT WRITE IN THE BOXES BELOW

DRI Forms filed with ARC/DCA/GRTA on: _____ Final determination received on: _____

Application Received Date: _____

Scheduled for Public Hearing on:

Planning Commission Date: _____
 Mayor & City Council Date: _____

Signs Provided Date: _____
 Newspaper Ad Date: _____
 Affidavit Received Date: _____

Notes:

Planning Commission

Public Hearing: Date: _____
 Tabled Until: Date: _____

Recommendation

Approval
 Approval with Stipulations
 Denial
 No Recommendation

Mayor & Council

Public Hearing: Date: _____
 Tabled Until: Date: _____
 Returned to P.C. Date: _____

Final Action

Approved
 Approved with Stipulations
 Denied
 Stipulations Attached



Application Withdrawn

By Planning Director
 By P.C. or Mayor & Council

Date: _____

Without time restriction
 Restriction: Cannot be refiled for _____ months

Applicant: Municipal Communications, LLC Current Zoning: NRC Proposed Sp. Use: Telecommunications Tower

Property Location: 3215 New Macland Road (On the eastern side of New Macland Road, north of intersection its with Macedonia Road) Land Lot No. 725, 19th District

Standards for special use consideration

A special use otherwise permitted within a zoning district shall be considered to be compatible with other uses permitted in the district, provided that due consideration is given to the following objective criteria. Emphasis may be placed on those criteria most applicable to the specific use proposed:

Standard	YES	NO	Comments
a. Will the proposed special use be consistent with the stated purpose of the zoning district in which it will be located?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See attached.
b. Will the establishment of the special use not impede the normal and orderly development of surrounding property for uses predominate in the area?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	See attached.
c. Is the location and character of the proposed special use consistent with a desirable pattern of development in general?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See attached.
d. Is or will the type of street providing access to the use be adequate to serve the proposed special use?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See attached.
e. Is or will access into and out of the property be adequate to provide for traffic and pedestrian safety, the anticipated volume of traffic flow, and access by emergency vehicles?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See attached.
f. Are or will public facilities such as schools, water or sewer utilities, and police or fire protection be adequate to serve the special use?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See attached.
g. Are or will refuse, service, parking and loading areas on the property be located or screened to protect other properties in the area from such adverse effects as noise, light, glare or odor?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See attached.
h. Will the hours and manner of operation of the special use have no adverse effects on other properties in the area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See attached.
i. Will the height, size or location of the buildings or other structures on the property be compatible with the height, size or location of buildings or other structures on neighboring properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See attached.

Prepared...Date: March 28, 20 17 for Municipal Communications LLC Applicant
 Date: _____, 20 ____ by _____ Powder Springs Staff
 Date: March 28, 20 17 by Other: Garvis L. Sams, Jr.
 Attorney for Applicant

Powder Springs

OWNER'S AUTHORIZATION

This is to certify that (I am we are I am the Corporate Secretary of a Corporation that is) the owner of a majority interest in the property that is the subject of the attached application.

By execution of this form, this is to authorize the person named as "applicant" below, acting on behalf of the owner, to file for and pursue a request for approval of the following:

(Check each that applies and cross out each that does not apply)

- Rezoning
- Special Use
- Appeal from Administrative Decision
- Special Exception
- Hardship Variance
- Flood Protection Variance

Applicant: Municipal Communications, LLC

Applicant's Address: 3495 Piedmont Rd., Eleven Piedmont Center, Ste. 411, Atlanta, GA 30305

Date this Authorization becomes null and void: _____, 20 ____ (Not applicable)

See attached (Notarized) See attached
Signature of Owner

Signature of Owner (Notarized)

Signature of Owner (Notarized)

Signature of Owner (Notarized)

Attach additional sheets as needed

Corporations – attach copy of corporate resolution approving authorization

Applicant: Municipal Communications, LLC Current Zoning: NRC Proposed Sp. Use: Telecommunications Tower

Property Location: 3215 New Macland Road (On the eastern side of New Macland Road, north of intersection its with Macedonia Road) Land Lot No. 725, 19th

A sketch plan must accompany any application for special use approval if any new construction or alteration of the site is proposed.

The sketch plan may be prepared by the applicant, a professional engineer, a registered land surveyor, a landscape architect, a land planner or any other person familiar with land development activities.

The sketch plan must be drawn to approximate scale on a boundary survey of the tract or on a property map showing the approximate location of the boundaries and dimensions of the tract.

The sketch plan must show the following:

- Name and address of the property owner.
- Name, address, and telephone number of the applicant (if different than the owner).
- If drawn on a boundary survey: date of survey and source of datum,
- Date of plan drawing, and revision dates, as appropriate.
- North point and approximate scale of the drawing.
- Location (Land District and Land Lot) and size of the property in acres (or in square feet if less than an acre).
- Location sketch of the property in relation to the surrounding area with regard to well known landmarks such as arterial streets or railroads. Sketches may be drawn in freehand and at a scale sufficient to show clearly the information required, but not less than 1 inch equal to 2,000 feet. US. Geological Survey maps may be used as a reference guide for the location sketch.
- Zoning district classification of the subject property and all adjacent properties, and current zoning district boundaries if they cross the property.
- Man-made features within and adjacent to the property, including existing streets and names, city limit lines, and other significant information such as location of bridges, utility lines, existing buildings to remain, and other features as appropriate to the nature of the request.
- Proposed use of the property, including such pertinent operating characteristics as hours of operation, outdoor activities and lighting.
- The proposed project layout, including the approximate outline and location of all buildings, and the location of all minimum building setback lines, outdoor storage areas, buffers, parking areas and driveways.
- A statement as to the source of domestic water supply.
- A statement as to the provision for sanitary sewage disposal.
- The approximate location of proposed storm water detention facilities.
- Such additional information as may be useful to permit an understanding of the proposed use and development of the property.

*In addition to the foregoing sketch plan requirements, also submitted concurrently herewith is a complete set of Construction Documents & Civil Engineering Detail; a Statement of Proposed Site Improvements; an Analysis of Zoning Standards in Support of the Application; Cell Site Justification (including design objectives, site justification & radio frequency engineering documentation); and, related documentation and information.

Instructions for Applicant:

Complete this form and the appropriate attachments in order to apply for a Special Use on a property. Refer to Section 11-3 of the Unified Land Development Code for more detail.

Fill in the top boxes and have your signature notarized. Deliver the original of the application and all attachments to the Community Development Department at the City Hall Annex, 4488 Pineview Drive, Powder Springs 30127. You can reach the Community Development Department at 770-943-1666 during normal working hours to discuss your application or if you have any questions.

NOTE: If your application qualifies as a "Development of Regional Impact" (see Section 11-12 of the Code) then you must follow additional procedures BEFORE your application can be considered. The Community Development Department will assist you with the DRI process, which is mandated by State and GR TA requirements.

- Fill in your name, address, telephone number, the property's location and Land Lot in which the property is located.
- Check the appropriate box as to whether you are the property owner, an attorney representing the property owner, or someone else representing the owner.
- If you do not personally own a majority interest in the property, have the owner(s) prepare an Owner's Authorization giving you permission to file the application, and attach it to the application (see the Owner's Authorization Form that is in this application package).
- Indicate the current zoning district of the property.
- Check the appropriate box showing what you are applying for: a Special Use (list the specific special use from Table 2-3 of the Code for the zoning district you have), or a change in a stipulation that was imposed by the Mayor and City Council when the property previously had a Special Use approved.

NOTE: File a separate application for each Special Use request naming a different zoning district. A Rezoning request can be combined with a Special Use request on the same property by separate application.

- Check the boxes for all of the items that you have attached:
 - Application fee: attach a check or money order for the appropriate fee made out to the City of Powder Springs. **DO NOT ATTACH CASH.**
 - Attach a legal description of the property accurately describing the boundary of the property for which the change is requested. You may find this on your deed or from a boundary survey made for the property.
 - Fill out a Review Checklist for your Special Use request and attach to the application (see the form included in this application package).
 - Attach a Sketch Plan if what you are proposing will involve any new construction or alteration of the site. A Plan Review Checklist for a Sketch Plan is included in this application package for your information.
 - Attach a completed Campaign Contribution Disclosure form, listing ALL owners of the property. Also indicate contributions or gifts you or your attorney have made over the past two years that in the aggregate total \$250 or more to any Powder Springs elected official or Planning Commissioner.
 - Attach any impact studies required by Section 11-3(c) of the Code. This applies to any project that will have 500,000 square feet of nonresidential floor area or 350 dwelling units, or more.

Public Notice Requirements:

The Code requires public notice of your Special Use request. The Community Development Department will tell you when and where the Planning Commission will hold their public hearing on your application.

- The City will publish a legal notice in the newspaper regarding your application and announcing the time and place of the public hearing.
- At least 15 days before the Planning Commission's public hearing on your application, the Community Development Department will give you a sign to post in a conspicuous location along each street frontage of the property. (If the property has no street frontage, the sign is to be placed on each street where you will have access to the property.)
 - The signs must remain posted until a final decision by the City has been rendered on your rezoning.
 - It is your responsibility to post the signs and to maintain the signs during the posting period. Failure to post and maintain the signs continuously may prohibit consideration of the application at any scheduled public hearing. In the event the signs are not posted continuously, the City, in its sole discretion, may require the reposting and readvertising prior to any future public hearing, for which the applicant shall pay an additional readvertising fee. The City may also in its sole discretion, continue, hold, approve, or dismiss the application. Any dismissal under the provisions of this paragraph shall be with prejudice unless specifically noted as being without prejudice by the City.
- At least 15 days before the Planning Commission's public hearing, you are to mail a notice to all persons owning property within 200 feet of the property that is the subject matter of the Special Use. The Code says:
 - The written notice is to be mailed by "certified mail—return receipt requested" to the property owners as such names and addresses appear on the County's current ad valorem tax records.
 - At least 15 days before the Planning Commission's public hearing, you must also submit an affidavit with a copy of the notice to the Planning Director listing the property owners and certifying the date that the notices were mailed.
 - The notice is to state the time, place and purpose of the hearings, and include a page size copy of the sketch plan submitted with the application.

City Actions:

The Planning Director will date your application when it is received. The Planning Director has 5 working days in which to determine that your application is complete or to return it to you for additional information. The application will not be scheduled for public hearing until it is complete.

The Planning Commission's public hearing will be held at the time advertised. At the public hearing, you will be allowed to speak first in order to present the application. Others in support of the application may then speak, followed by those in opposition to the application. You may then be allowed time for rebuttal if adequate time remains. Rebuttal must be limited to points or issues raised by opponents to the application at the hearing.

After the Planning Commission has made their recommendation, the Mayor and City Council will consider approval or denial of the application for Special Use at their own public hearing. You are encouraged to attend the meeting, and make a presentation following the same procedure as the Planning Commission hearing.

The final action taken by the Mayor and City Council will be indicated on the application form, along with any stipulations that they impose on the property if approved, and a copy will be given to you as official notice of their final action.

If the application is withdrawn (see Section 11-3(f) for details), it will be noted on the application form and a copy will be given to you for your records.

NOTE: Applications for Special Use on the same property may not be considered more often than once every 12 months, unless the Mayor and City Council reduces the waiting period to 6 months. See Code Section 11-3(a)(4) for details.

FEE SCHEDULE

Design Review	\$25.00
Certificate of Appropriateness	\$25.00
Land Use or Zoning Map (11" x 17")	\$5.00
Land Use or Zoning Map (22" x 36")	\$10.00
Unified Development Code	\$65.00
Unified Development Code (CD)	\$5.00
Copies	\$0.25 per page
Zoning Verification	\$10.00

	Residential	Commercial
Variance	\$250	\$450
Special Use	\$250	\$250
Appeal of Administrative Decision	\$25	\$25
Administrative Variance Application	\$100	\$100

Rezoning Application Fees

Acres/ Square Footage	Single Family Residential	Medium/High Density Residential	Commercial, Office, Industrial
0-5 acres	\$250	\$700	\$900
5-10 acres	\$700	\$1,200	\$1,500
10-20 acres	\$1,000	\$1,500	\$1,800
20-100 acres	\$1,500	\$2,000	\$2,200
100+ acres	\$1,500 + \$30/acre	\$2,000 + \$40/acre	\$2,200 + \$50/acre
0-20,000 sf		\$700	\$900
20,001 - 50,000 sf		\$1,200	\$1,500
50,001 - 100,000 sf		\$1,500	\$1,800
100,001- 500,000 sf		\$2,000	\$2,200
500,001 + sf		\$2000 + \$90/100,000 sf	\$2,200 + \$115/100,000 sf

The fee for high/medium density, commercial, or office rezoning applications will be based on the total number of acres being rezoned or the total square footage of the proposed building(s) buildings on the proposed rezoning site, whichever fee is greater.

ATTACHMENT TO APPLICATION FOR SPECIAL USE

Application No.: _____

P & Z Commission Hearing Date: _____

Mayor & Council Hearing Date: _____

Applicant: MUNICIPAL COMMUNICATIONS, LLC

Titleholder: MONEY MANAGEMENT CONSULTANTS

PIN#: 19072500020

PROPERTY OWNER'S CERTIFICATION

The undersigned(s) below, or as attached, is the owner of the property considered in this application.

Henry A. Ash

Signature of Owner

Date 2-28-17

Henry G. Goble

Printed Name/Title

Address: 3069 Stillwater Dr.
Gainesville GA 30506

Telephone No.: (770) 532-0110

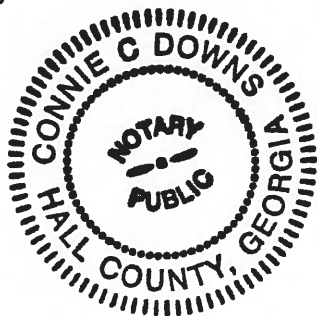
Connie C. Downs

Signature of Notary Public

EXP. 8-27-20

Date 2-28-17

(Notary Seal)



Powder Springs

CAMPAIGN CONTRIBUTION DISCLOSURE

Applicant: Municipal Communications, LLC
 Applicant's Address: 3495 Piedmont Road, Eleven Piedmont Center, Ste. 41
Atlanta, GA 30305
 Applicant's Attorney: Garvis L. Sams, Jr. (Sams, Larkin, Huff & Balli, LLP)
 Attorney's Address: 376 Powder Springs Street, Suite 100
Marietta, GA 30064

The following information is provided in accordance with the Georgia Conflict of Interest in Zoning Actions Act, O.C.G.A. 36-67A-1 *et seq.*

The property that is the subject of the attached application is owned by:

Individual(s) Corporation Partnership Limited Partnership Joint Venture

All persons, corporations, partners, limited partners, or joint venturers party to ownership of the property that is the subject of the attached application are listed below:

Henry G. Goble

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

APPLICANT: Within the two years preceding the date of the attached application, **the applicant** has made campaign contributions or gifts aggregating \$250 or more to the Mayor, to members of the Powder Springs City Council, or to members of the Planning Commission, as follows:

Name of Official	Amount of Contribution or Gift	Date of Contribution or Gift
N/A		
_____	_____	_____
_____	_____	_____
_____	_____	_____

ATTORNEY: Within the two years preceding the date of the attached application, **the attorney representing the applicant** has made campaign contributions or gifts aggregating \$250 or more to the Mayor, to members of the Powder Springs City Council, or to members of the Planning Commission, as follows:

Name of Official	Amount of Contribution or Gift	Date of Contribution or Gift
_____	_____	_____
_____	_____	_____
_____	_____	_____

Attach additional sheets as needed

ATTACHMENT TO APPLICATION FOR SPECIAL USE
Corporate Authority

Application No.: _____

P & Z Commission Hearing Date: _____

Mayor & Council Hearing Date: _____

Applicant: MUNICIPAL COMMUNICATIONS, LLC

Titleholder: MONEY MANAGEMENT CONSULTANTS

PIN#: 19072500020

PROPERTY OWNER'S CERTIFICATION

The undersigned(s) below, or as attached, is the owner of the property considered in this application.

Kenny S. Ash
Signature of Owner

Date 2-28-17

Henry G. Goble
Printed Name/Title

Address: 3069 Stillwater Dr.
Gainesville GA 30506

Telephone No.: (770) 532-0110

Connie C. Downs

Signature of Notary Public

EXP. 8-27-20

Date 2-28-17

(Notary Seal)



STATE OF GEORGIA

Secretary of State

Corporations Division

313 West Tower

2 Martin Luther King, Jr. Dr.

Atlanta, Georgia 30334-1530

ANNUAL REGISTRATION

Electronically Filed

Secretary of State

Filing Date: 1/23/2017 8:28:04 PM

BUSINESS INFORMATION

CONTROL NUMBER	07097449
BUSINESS NAME	MONEY MANAGEMENT CONSULTANTS, LLC
BUSINESS TYPE	Domestic Limited Liability Company
EFFECTIVE DATE	01/23/2017

PRINCIPAL OFFICE ADDRESS

ADDRESS	3069 Stillwater Drive, Gainesville, USA
---------	---

REGISTERED AGENT'S NAME AND ADDRESS

NAME	ADDRESS
Goble, Ann M.	3069 Stillwater Drive, Hall, Gainesville, GA, 30506, USA

AUTHORIZER INFORMATION

AUTHORIZER SIGNATURE	Henry Goble
AUTHORIZER TITLE	Organizer



A handwritten signature in black ink, appearing to read 'B. P. Kemp'.

Brian P. Kemp
Secretary of State

Powder Springs

CAMPAIGN CONTRIBUTION DISCLOSURE

Applicant: Municipal Communications, LLC
 Applicant's Address: 3495 Piedmont Road, Eleven Piedmont Center, Ste. 41
Atlanta, GA 30305
 Applicant's Attorney: Garvis L. Sams, Jr. (Sams, Larkin, Huff & Balli, LLP)
 Attorney's Address: 376 Powder Springs Street, Suite 100
Marietta, GA 30064

The following information is provided in accordance with the Georgia Conflict of Interest in Zoning Actions Act, O.C.G.A. 36-67A-1 *et seq.*

The property that is the subject of the attached application is owned by:

Individual(s) Corporation Partnership Limited Partnership Joint Venture

All persons, corporations, partners, limited partners, or joint venturers party to ownership of the property that is the subject of the attached application are listed below:

Municipal Communications, LLC

APPLICANT: Within the two years preceding the date of the attached application, **the applicant** has made campaign contributions or gifts aggregating \$250 or more to the Mayor, to members of the Powder Springs City Council, or to members of the Planning Commission, as follows:

Name of Official	Amount of Contribution or Gift	Date of Contribution or Gift
N/A		
_____	_____	_____
_____	_____	_____
_____	_____	_____

ATTORNEY: Within the two years preceding the date of the attached application, **the attorney representing the applicant** has made campaign contributions or gifts aggregating \$250 or more to the Mayor, to members of the Powder Springs City Council, or to members of the Planning Commission, as follows:

Name of Official	Amount of Contribution or Gift	Date of Contribution or Gift
_____	_____	_____
_____	_____	_____
_____	_____	_____

Attach additional sheets as needed

Powder Springs

CAMPAIGN CONTRIBUTION DISCLOSURE

Applicant: Municipal Communications, LLC
 Applicant's Address: 3495 Piedmont Road, Eleven Piedmont Center, Ste. 41
Atlanta, GA 30305
 Applicant's Attorney: Garvis L. Sams, Jr. (Sams, Larkin, Huff & Balli, LLP)
 Attorney's Address: 376 Powder Springs Street, Suite 100
Marietta, GA 30064

The following information is provided in accordance with the Georgia Conflict of Interest in Zoning Actions Act, O.C.G.A. 36-67A-1 *et seq.*

The property that is the subject of the attached application is owned by:

- Individual(s) Corporation Partnership Limited Partnership Joint Venture

All persons, corporations, partners, limited partners, or joint venturers party to ownership of the property that is the subject of the attached application are listed below:

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

APPLICANT: Within the two years preceding the date of the attached application, **the applicant** has made campaign contributions or gifts aggregating \$250 or more to the Mayor, to members of the Powder Springs City Council, or to members of the Planning Commission, as follows:

Name of Official	Amount of Contribution or Gift	Date of Contribution or Gift
_____	_____	_____
_____	_____	_____
_____	_____	_____

ATTORNEY: Within the two years preceding the date of the attached application, **the attorney representing the applicant** has made campaign contributions or gifts aggregating \$250 or more to the Mayor, to members of the Powder Springs City Council, or to members of the Planning Commission, as follows:

Name of Official	Amount of Contribution or Gift	Date of Contribution or Gift
<u>No Contributions</u>	<u>N/A</u>	<u>N/A</u>
<u>Garvis L. Sams, Jr.</u>	<u>Sams, Larkin, Huff & Balli</u>	_____
_____	_____	_____

Attach additional sheets as needed



Jay C. Stephenson
Clerk of Superior Court Cobb Cty. Ga.

AFTER RECORDING PLEASE RETURN TO:

Hulsey, Oliver & Mahor
P. O. Box 1457
Gainesville, GA 30503
ATTENTION: Samuel L. Oliver

12. WARRANTY DEED

GEORGIA, COBB COUNTY:

This deed made by and between Brinkley D. Smith and Glenda E. Smith, Grantors, and Money Management Consultants, LLC, Grantee,

WITNESSETH, that the said Grantors, for and in consideration of Ten (\$10.00) Dollars and other valuable consideration in hand paid at and before the sealing and delivery of these presents, the receipt and sufficiency whereof is hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents do grant, bargain, sell and convey unto the Grantee,

TRACT ONE:

All that tract or parcel of land lying in and being a portion of Land Lot 725, 19th District, 2nd Section, Cobb County, Georgia, being more fully and particularly described as follows:

To find the **TRUE POINT OF BEGINNING** begin at the intersection of the East right of way line of S.R. 176 (New Macland Road) (80 foot right of way) with the South right of way line of Weston Drive (50 foot right of way); thence Southerly along the said right of way line of S.R. 176 (New Macland Road) a distance of 1,147.49 feet to a corner on said right of way line and the **TRUE POINT OF BEGINNING**; thence North 86 degrees 25 minutes 33 seconds East a distance of 302.24 feet to a corner; thence South 24 degrees 40 minutes 07 seconds East a distance of 252.67 feet to a corner; thence South 82 degrees 17 minutes 07 seconds East a distance of 100.16 feet to a corner; thence North 55 degrees 05 minutes 06 seconds East a distance of 162.93 feet to a corner; thence South 01 degrees 36 minutes 50 seconds East a distance of 180.90 feet to a corner; thence South 69 degrees 24 minutes 40 seconds West a distance of 658.20 feet to a corner at the East right of way line of S.R. 176 (New Macland Road) thence North 03 degrees 02 minutes 41 seconds West along said right of way line a distance of 129.67 feet to a corner; thence North 86 degrees 36 minutes 59 seconds East a distance of 184.70 feet to a corner; thence North 03 degrees 24 minutes 20 seconds West a distance of 150.07 feet to a corner; thence South 86 degrees 35 minutes 38 seconds West a distance of 183.75 feet to a corner at the East right of

way line of S.R. 176 (New Macland Road); thence North 03 degrees 02 minutes 41 seconds West along said right of way line a distance of 264.35 feet to a corner and the TRUE POINT OF BEGINNING. Said tract contains 4.36 acres, and is delineated on a plat of survey prepared by George W. Crusselle, L.S. #1373, for BRINKLEY D. SMITH AND GLENDA E. SMITH, dated March 17, 1995. Said plat, by reference is incorporated herein.

TRACT TWO:

All that tract or parcel of land lying and being in Land lot 725 of the 19th District, 2nd Section of Cobb County, Georgia, as shown upon a plat of survey made by Robert T. Weaver, Surveyor, dated May 16, 1964, which is recorded in Plat Book 28, Page 67, in the Office of the Clerk, Cobb Superior Court, more particularly described as follows:

BEGINNING at an iron pin on the east side of Macland Road (State Highway 176) 900 feet north of the centerline of Macedonia Road, as measured along the east side of Macland Road; from this iron pin running thence north 4 degrees 00 minutes west along the east side of the Macland Road right-of-way for a distance of 150 feet to an iron pin; thence running northerly 86 degrees 00 minutes 00 minutes east for a distance of 200 feet to an iron pin; thence running southerly 4 degrees 00 minutes east for a distance of 150 feet to an iron pin; thence running southerly 86 degrees 00 minutes west for a distance of 200 feet to the iron pin located on the east side of the right-of-way of Macland Road and the point of beginning.

TO HAVE AND TO HOLD the said premises, together with all rights and appurtenances unto the said Grantee, forever in FEE SIMPLE, and the Grantors WARRANT the title to the same against the lawful claims of all persons whomever.

Whenever there is a reference herein to the Grantor or the Grantee, the singular includes the plural and the masculine includes the feminine and the neuter, and said terms include and bind the heirs, executors, administrators, successors and assigns of the parties hereto.

IN WITNESS WHEREOF, the Grantors have hereunto set their hands and affixed their seals this 13 day of March, 2008.

Signed, sealed and delivered this
13 day of March, 2008.

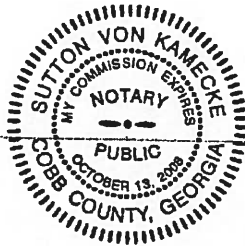
Brinkley D. Smith (SEAL)
Brinkley D. Smith

Sutton Von Kamecke
Witness
Sutton Von Kamecke
Notary Public

Glenda E. Smith (SEAL)
Glenda E. Smith

My Commission Expires: 10-13-08

SLO:lds/T5681/W105173



PROPOSED LEASE AREA
INFINIGY
"COMMODORE"

All that tract or parcel of land, lying and being in Land Lot 725, 19th District, 2nd Section, Cobb County, Georgia, and being more particularly described as follows:

To find the point of beginning, COMMENCE at a ½-inch rebar found on the easterly right-of-way of New Macland Road (having an 80-foot right-of-way); said pin also being the northwest corner of lands owned by WCP Equities LLC per deed book 14934 page 3620 Cobb County Records; thence running along said right-of-way, North 02°03'07" West, 13.11 feet to a point; thence leaving said right-of-way and running, North 70°24'57" East, 165.00 feet to a point; thence, North 19°35'03" West, 50.00 feet to a point and the true POINT OF BEGINNING; Thence, North 70°24'57" East, 60.00 feet to a point; Thence, South 19°35'03" East, 60.00 feet to a point; Thence, South 70°24'57" West, 60.00 feet to a point; Thence, North 19°35'03" West, 60.00 feet to a point and the true POINT OF BEGINNING.

Said tract contains 0.2296 acres (10,000 square feet), more or less, as shown in a survey prepared for Infinigy by Point To Point Land Surveyors, Inc. dated January 4, 2017.



PROPOSED 20' INGRESS-EGRESS & UTILITY EASEMENT
INFINIGY
"COMMODORE"

Together with a proposed 20-foot wide ingress-egress and utility easement, lying and being in Land Lot 725, 19th District, 2nd Section, Cobb County, Georgia, and being more particularly described by the following centerline data:

To find the point of beginning, COMMENCE at a ½-inch rebar found on the easterly right-of-way of New Macland Road (having an 80-foot right-of-way); said pin also being the northwest corner of lands owned by WCP Equities LLC per deed book 14934 page 3620 Cobb County Records; thence running along said right-of-way, North 02°03'07" West, 13.11 feet to a point and the true POINT OF BEGINNING; Thence leaving said right-of-way and running, North 70°24'57" East, 165.00 feet to the ENDING at a point.

As shown in a survey prepared for Infinigy by Point To Point Land Surveyors, Inc. dated January 4, 2017.



PID: 072500020
 Type: RE
 Section:
 Account Id: 1488
 Alternate Id:
 Status: Active
 View Map
 Owner: MONEY MANAGEMENT CONSULTANTS LLC
 Prop Loc: 3215 NEW MACLAND RD

Year	Prd	Code	Billed	Principal Balance	Penalty	Total Balance
2016	1		667.01	.00	.00	.00
2016	Total		667.01	.00	.00	.00
2015	1		667.01	.00	.00	.00
2015	Total		667.01	.00	.00	.00
2014	1		667.01	.00	.00	.00
2014	Total		667.01	.00	.00	.00

* Indicates there are adjustments in a year & period.

Property Tax Totals
 Balance: .00 Penalty: .00 Total: .00
 Current Due: .00 Due As of 04/28/17: .00
 Last Pymt: 11/09/16 Project Penalty

NOTE: 'Due As of 04/28/17' amount includes principal due as of 04/28/17, plus interest due as of 03/28/17.



Printed: 11/15/2016

Cobb County Online Tax Receipt

Thank you for your payment!

CARLA JACKSON TAX COMMISSIONER
CHELLY MCDUFFIE CHIEF DEPUTY
 Phone: 770-528-8600
 Fax: 770-528-8679

Payer:
 ANN M & HENRY G GOBLE

**MONEY MANAGEMENT CONSULTANTS
 LLC**

Payment Date: 10/13/2016

Tax Year	Parcel ID	Due Date	Appeal Amount	Taxes Due
2016	19072500020	10/17/2016	Pay: N/A or	\$0.00

Interest	Penalty	Fees	Total Due	Amount Paid	Balance
\$0.00	\$0.00	\$0.00	\$0.00	\$2,256.07	\$0.00



Scan this code with your
 mobile phone to view
 this bill!!

SAMS, LARKIN, HUFF & BALLI

A LIMITED LIABILITY PARTNERSHIP

GARVIS L. SAMS, JR.
JOEL L. LARKIN
PARKS F. HUFF
JAMES A. BALLI

SUITE 100
376 POWDER SPRINGS STREET
MARIETTA, GEORGIA 30064-3448

770-422-7016
TELEPHONE
770-426-6583
FACSIMILE

ADAM J. ROZEN

WWW.SLHB-LAW.COM

March 28, 2017

VIA HAND DELIVERY & EMAIL

Ms. Tina Garver, AICP
Community Development Director
City of Powder Springs
4488 Pineview Drive
Powder Springs, 30127

Re: Application for Special Use Permit (Telecommunications Tower)
Applicant: Municipal Communications, LLC
Property: 3215 New Macland Road Site, Land Lot 725, 19th District,
City of Powder Springs, Cobb County, GA

Dear Ms. Garver:

This firm has been engaged by and represents Municipal Communications, LLC ("Applicant"). In that regard, the Unified Development Code ("UDC") requires that the Mayor and City Council consider certain guidelines and standards as contained in the Review Checklist and/or Standards for Special Use Consideration when deciding whether to grant or deny a SUP Application. Applying the Review Checklist and Standards for Special Use Considerations show that the City should grant this Application.

ANALYSIS OF STANDARDS FOR SPECIAL USE CONSIDERATION AND UDC STANDARDS IN SUPPORT OF MUNICIPAL COMMUNICATIONS, LLC'S SUP APPLICATION

- a. **Will the proposed Special Use be consistent with the stated purposes of the zoning district in which it will be located?**

In this instance, the Facility will be located on a tract which is zoned NRC. The leased area will be accessed from New Macland Road by way of a twenty foot (20') Ingress/Egress & Utility Easement. In that regard and in view of the fact that the UDC discourages the location of towers located on strictly residentially zoned and/or utilized property or the utilization of platted lots within existing subdivisions, the proposed Facility will be located on property which is not zoned for residential purposes. Accordingly, the City's approval of the SUP Application will further the goals of the UDC and be consistent with the stated purposes of the NRC zoning district.

SAMS, LARKIN, HUFF & BALLI

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VIA HAND DELIVERY & EMAIL

Ms. Tina Garver, AICP
Community Development Director
City of Powder Springs
March 28, 2017
Page 2

b. Will the establishment of the Special Use not impede the normal and orderly development of surrounding property for uses predominate in the area?

As described in the response to “a.” above, the City’s decision to grant the SUP Application will ensure that the overall character of the area will remain intact. The proposed Facility will be located on commercially zoned property and is otherwise compatible with the area. Therefore, the establishment of the Special Use will not impede the normal and orderly development of surrounding property for uses predominant within this sub-area of the City.

c. Is the location and character of the proposed Special Use consistent with a desirable pattern of development in general?

The NRC Zoning District contemplates and permits the proposed Special Use. Likewise, the Applicant’s inability to locate the Facility on the site may compel the Applicant to construct more than one tower in the area to allow it to provide the same coverage to Verizon Wireless as could be achieved with the proposed Facility. Multiple towers, including the potential of one or more located on residentially utilized property, would be adverse to the stated goals of the UDC and have more of an impact on the surrounding area than if the City grants this proposed SUP Application.

d. Is or will the type of street providing access to the use be adequate to serve the proposed Special Use?

New Macland Road is classified as an Arterial and, in that regard, said right-of-way will provide access to the Special Use. More specifically, the twenty foot (20’) Ingress/Egress & Utility Easement will access the Site and the Facility from New Macland Road. In that regard, New Macland Road is more than adequate to serve the proposed Special Use.

e. Is or will access in to and out of the property be adequate to provide for traffic and pedestrian safety, the anticipated volume of traffic flow, and access by emergency vehicles?

The Facility will create little traffic in view of the fact that, once constructed, the Facility will be unmanned. Only quarterly site visits by Verizon Wireless maintenance technicians and personnel are anticipated. The Facility will not have water or sewer services and it will not generate any waste. The only utility connections required are

SAMS, LARKIN, HUFF & BALLI

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VIA HAND DELIVERY & EMAIL

Ms. Tina Garver, AICP
Community Development Director
City of Powder Springs
March 28, 2017
Page 3

electric and telephone services. The electricity demand of the Facility will be similar to that of a single-family residence. The Facility will not create a significant demand for community services and will, in fact, provide a service to the community in the form of a safe, reliable and uninterrupted 4G wireless service for use by the general public, emergency services personnel and others within this sub-area of the City.

- f. Are or will public facilities such as schools, water or sewer utilities, and police or fire protection be adequate to serve the Special Use?**

Available public facilities, as mentioned in the question above, are more than adequate to serve the Special Use as more fully described and delineated in the answer/response to question "e." above.

- g. Are or will refuse, service, parking and loading areas on the property be located or screened to protect other properties in the area from such adverse effects as noise, light, glare or odor?**

The components of this question and the protection of other properties in the area from adverse effects such as noise, light, glare and/or odors can be answered affirmatively by reference to the answer/responses to questions d – f above.

- h. Will the hours and manner of operation of the Special Use have no adverse effects on other properties in the area?**

The Facility will be an integral part of Verizon Wireless' network across the City of Powder Springs, Cobb County and other portions of the greater Atlanta area. The Facility will not create a demand for community services. Moreover, the Facility will provide a service to the community in the form of safe, reliable and uninterrupted 4G wireless service for use by the general public, emergency services personnel and others within this sub-area of the City. Once constructed, the Facility will be unmanned except for quarterly visits by Verizon Wireless maintenance technicians and personnel.

SAMS, LARKIN, HUFF & BALLI

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VIA HAND DELIVERY & EMAIL

Ms. Tina Garver, AICP
Community Development Director
City of Powder Springs
March 28, 2017
Page 4

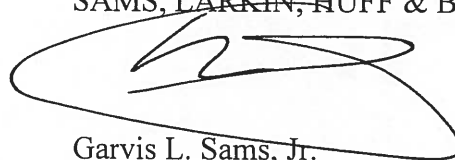
- i. **Will the height, size or location of the buildings or other structures on the property be compatible with the height, size or location of buildings or other structures on neighboring properties?**

Based upon discussions with and recommendations from the Applicant's consultants, the Facility which the Applicant plans to construct will include a one hundred, seventy foot (170') high (including the lightning rod), multi-tenant, monopole tower; ground-based communications equipment and associated minor improvements to facilitate the operations and maintenance of and access to the Facility on this Site. The carrier located on the top of the tower at the "Rad Center" height of one hundred, sixty feet (160') is proposed to be Verizon Wireless and there will be space for additional antenna arrays at heights approximately ten feet (10') apart. In that regard, the proposed Facility will comply with the design requirements of the UDC as the same is amended from time to time, as there is and will be tower space for at least four (4) additional carriers. Photographic simulations ("Photo-Sims") of the tower as viewed from all directions (north, south, east & west) reflect that the tower will only be visible from the southern approach on New Macland Road (see attached Photo-Sims with tower coordinates).

Based upon all of these factors, the Applicant has produced sufficient information to allow the City to fully consider all relevant factors and to demonstrate that the Application complies with all applicable requirements and is otherwise consistent with the policies reflected and the factors enumerated within the UDC. In that regard, the City should approve the Application as submitted. With kind regards, I am

Very truly yours,

SAMS, LARKIN, HUFF & BALLI, LLP



Garvis L. Sams, Jr.
gsams@slhb-law.com

GLS/klk
Enclosures/Attachments
cc: Listed on next page

SAMS, LARKIN, HUFF & BALLI

A LIMITED LIABILITY PARTNERSHIP

VIA HAND DELIVERY & EMAIL

Ms. Tina Garver, AICP
Community Development Director
City of Powder Springs
March 28, 2017
Page 5

cc: Ms. Pam Conner, City Manager (via hand delivery)
Ms. Lisa Cameron, Zoning Administrator (via hand delivery)
Mr. Peter Corry, CEO, Municipal Communications, LLC (via email)
Mr. John Throckmorton, Vice President Municipal Communications, LLC (via email)

Cell Site Justification for
Commodore

by **Sri Hari Krishna Nimmagadda**
Radio Frequency Engineer
Verizon Wireless
March 6th , 2017

Design Objectives for Commodore Site

- The proposed Commodore site is designed as a coverage site to improve 4G coverage and data throughput for Verizon customers along New Macland Rd connecting Powder Springs Rd and Macland Rd and all the residential areas on both sides of New Macland Rd.
- **Commodore** site is also designed as a capacity site to provide capacity relief to existing Verizon sites, majorly to Beta sector of Macland site and Alpha sector of Austell site.

Commodore Site Justification

- Commodore site at 165' AGL provides controlled coverage across the target areas at optimal signal levels and with minimal interference to and from neighboring Verizon sites.
- SBA(Structure Registration # 1270442) at 125' AGL wouldn't provide optimal coverage along for Verizon customers along New Macland Rd connecting Powder Springs Rd and Macland Rd and all the residential areas on both sides of New Macland Rd.

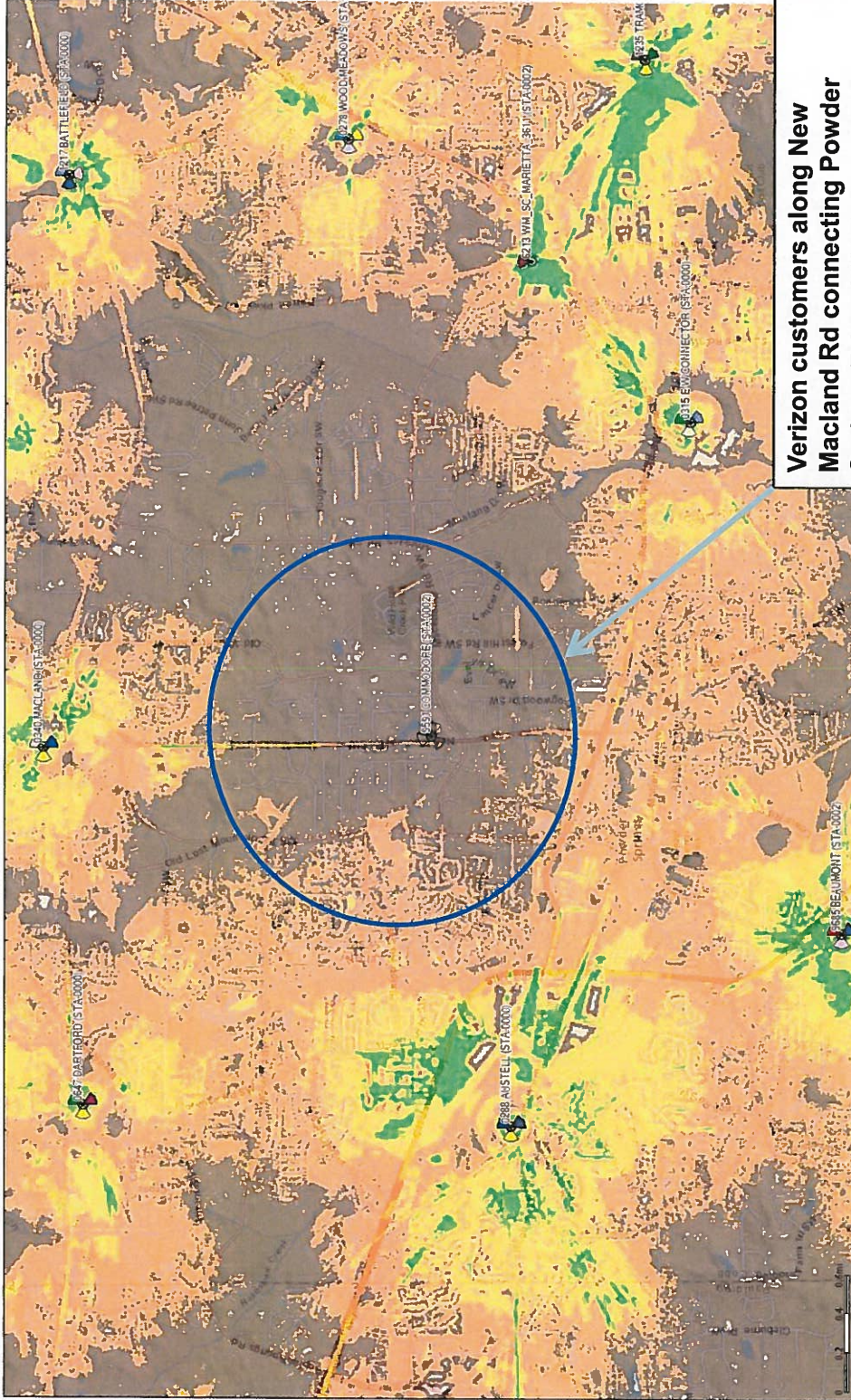
Sites within the vicinity of proposed Commodore site

Site Name	Antenna Height(ft)	Structure Type	Latitude	Longitude	Address	Status
Commodore	165	Tower(Proposed)	33-52-32.25 N	84-40-32.64 W	3215 New Macland Rd, Powder Springs, GA- 30127	Proposed
Macland	158	Monopole	33-54-15.7 N	84-40-34.03 W	1966 Lost Mountain Rd, Powder Springs,GA,30127	Existing
Dartford	170	Monopole	33-54-7.2 N	84-42-28.31 W	5311 Macland Road, Powder Springs, GA, 30127	Existing
Austell	239	Self-support	33-52-13.24 N	84-42-37.78 W	5540 PS/Dallas Hwy SW, Powder Springs, GA- 30127	Existing
E-W Connector	225	Self-support	33-51-21.58 N	84-38-54 W	1400 Industry Dr, Powder Springs, GA-30141	Existing
Wood Meadows	130	Monopole	33-52-51 N	84-37-21.50 W	2364 Powder Springs Rd, Marietta, GA, 30064	Existing
Beaumont	174	Monopole	33-50-44.59 N	84-41-38.13 W	4327 Brownsville Rd SW, Powder Springs, GA, 30127	Existing
WM_SC_Marietta_38 3611		Building	33-52-3.09 N	84-38-1.74 W	6520 Ernest W Barrett Pkwy, Marietta, GA-30064	Proposed
Battlefield	130	Monopole	33-54-5.68 N	84-37-31.38 W	2480 Macland Rd, Marietta, GA-30064	Existing

Google Earth Map – Proposed Commodore Site Location and Existing Verizon Cell Sites

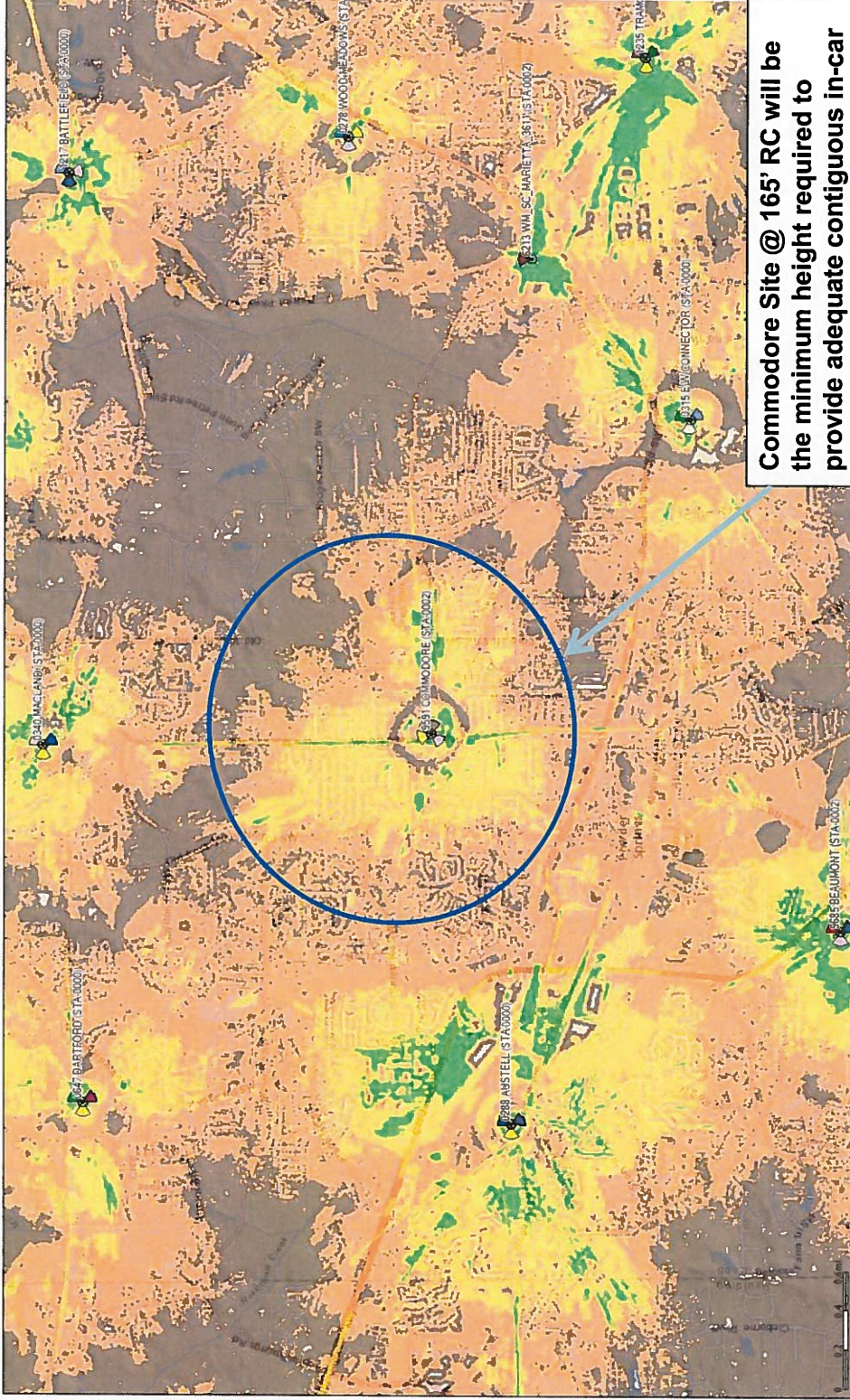


Current Verizon 4G LTE Signal Level (without the proposed Commodore site)



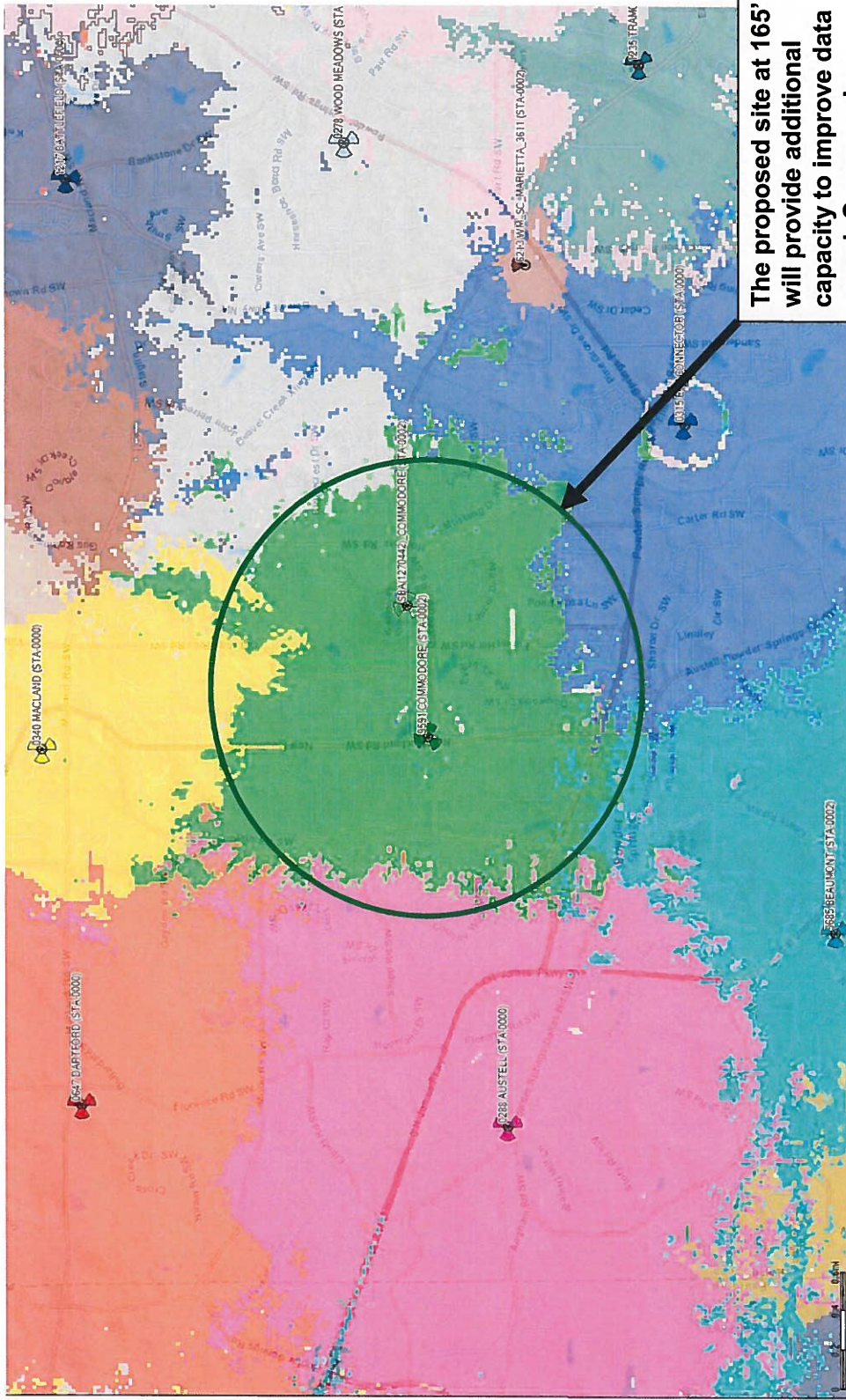
Verizon customers along New Macland Rd connecting Powder Springs Rd and Macland Rd and all the residential areas on both sides of New Macland Rd experience weak coverage and slow data speeds.

Future Verizon 4G LTE Signal Level (with the proposed Commodore site @ 165' Rad Center)



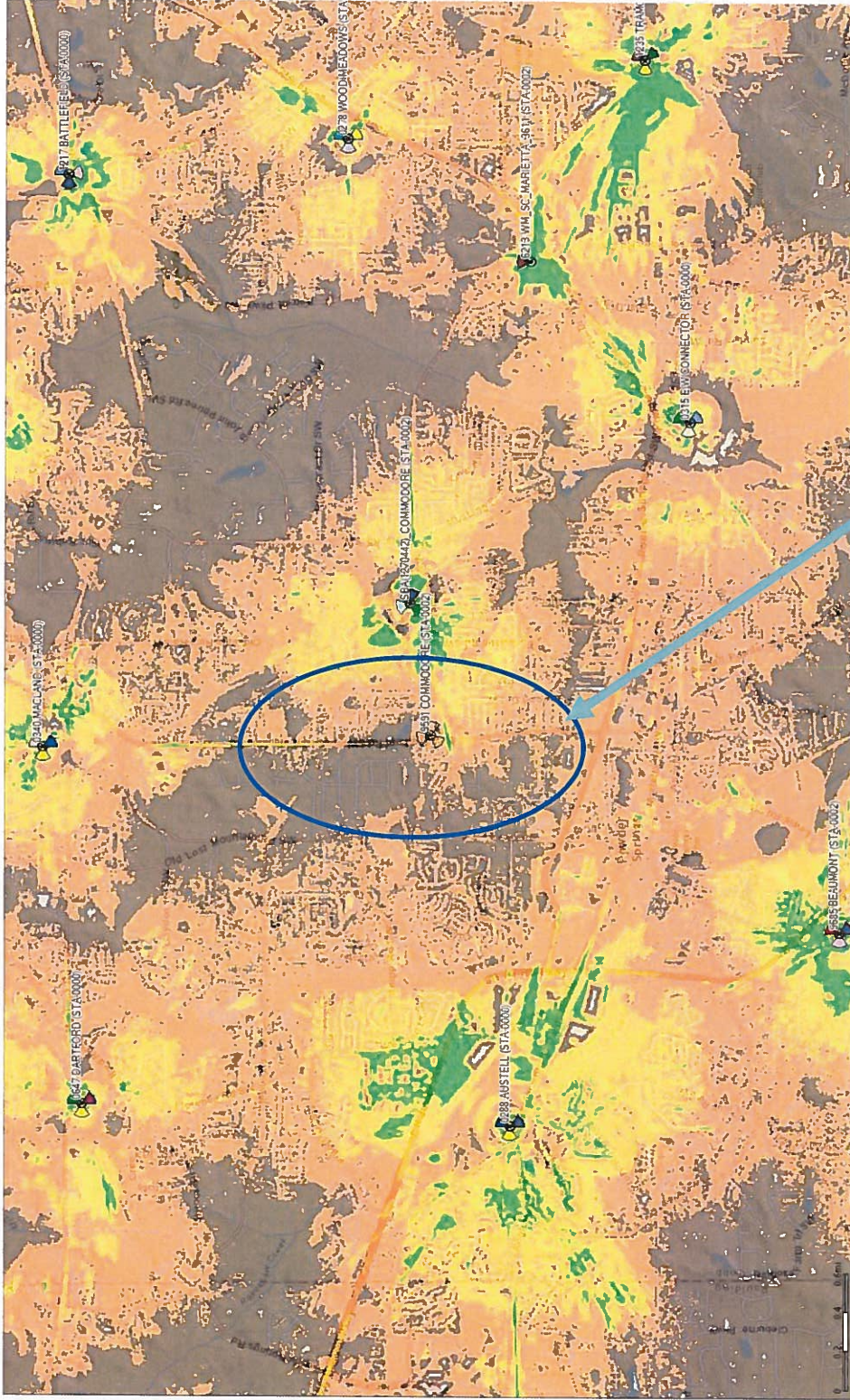
Commodore Site @ 165' RC will be the minimum height required to provide adequate contiguous in-car coverage along New Macland Rd connecting Powder Springs Rd and Macland Rd and all the residential areas on both sides of New Macland Rd.

Improved Serving Footprints With the Proposed Site



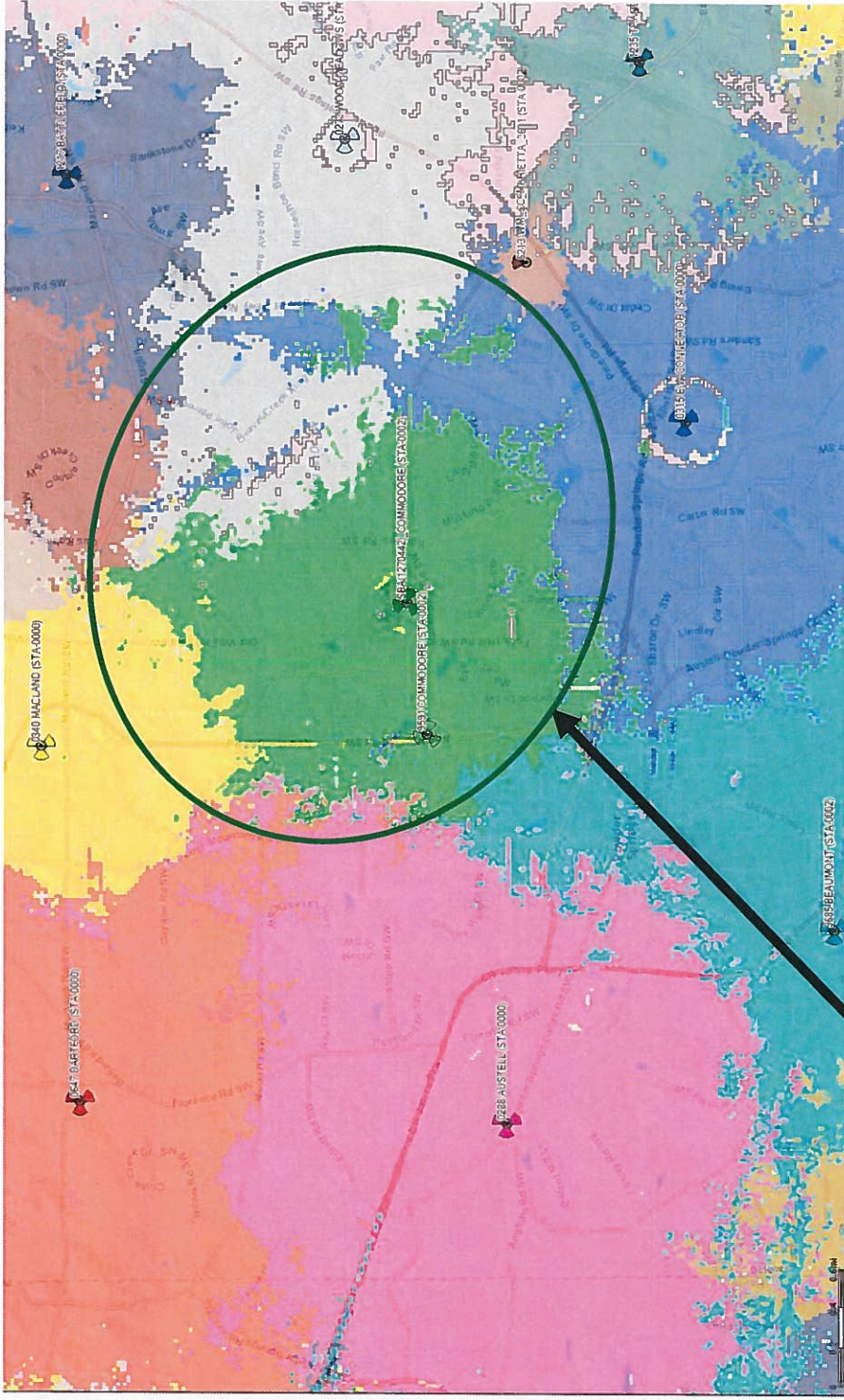
The proposed site at 165' will provide additional capacity to improve data speed. Coverage is contained and interference minimized due to reduced overlap with neighboring sites.

Verizon 4G LTE Signal Level if Collocating on the SBA(1270442) tower @ 125' Rad Center



- SBA(1270442) at 125' AGL wouldn't provide optimal coverage along New Macland Rd connecting Powder Springs Rd and Macland Rd and all the residential areas on West side of New Macland Rd.

Interfering Service Footprints If Collocating on SBA(1270442) tower @ 125' Rad Center



SBA(1270442) tower @ 125' Rad Center doesn't provide contained coverage and has too much overlap with neighboring sites E-W Connector, Macland and Wood Meadows which will result in high interference.



POINT TO POINT LAND SURVEYORS
 1010 Pennsylvania Avenue
 McDonough, GA 30253
 (p) 678.565.4440 (f) 678.565.4497
info@pointtopointsurvey.com
www.P2PLS.com

FAA 1-A SURVEY CERTIFICATION

Applicant: **Infinigy**
 2255 Sewell Mill Road, Suite 130
 Marietta, GA 30062

Site Name: **"Commodore"**

Horizontal Datum Source:

Ground survey GPS survey

Vertical Datum Source:

NAVD 88 NGVD 29 GPS survey

Structure Type:

New Tower Existing Tower Roof Top Water Tank Smokestack

CENTER OF PROPOSED LEASE AREA:

Latitude: 33°52'31.97" NAD 83
Longitude: -84°40'32.25" NAD 83
Ground Elevation: 964.7 feet AMSL NAVD 88

CERTIFICATION: I certify that the latitude of 33°52'31.97" and the longitude of -84°40'32.25" are accurate to within +/- 20 feet horizontally, and that the site elevation of 964.7 feet AMSL is accurate to within +/- 3 feet vertically. The horizontal datum (coordinates) are based on the North American Datum of 1983 (NAD 83) and are expressed in degrees, minutes and seconds to the nearest hundredth of a second. The vertical datum (heights) are based on the North American Vertical Datum of 1988 (NAVD 88) and are determined to the nearest tenth of a foot.

Surveyor Signature/Seal: _____  _____

(SEAL)

Printed Name: Charles L. Iner
Professional Surveyor #: 2966
Company: Point to Point Land Surveyors, Inc
Phone: 678-565-4440
Date: January 4, 2017



PROPOSED LEASE AREA
INFINIGY
"COMMODORE"

All that tract or parcel of land, lying and being in Land Lot 725, 19th District, 2nd Section, Cobb County, Georgia, and being more particularly described as follows:

To find the point of beginning, COMMENCE at a ½-inch rebar found on the easterly right-of-way of New Macland Road (having an 80-foot right-of-way); said pin also being the northwest corner of lands owned by WCP Equities LLC per deed book 14934 page 3620 Cobb County Records; thence running along said right-of-way, North 02°03'07" West, 13.11 feet to a point; thence leaving said right-of-way and running, North 70°24'57" East, 165.00 feet to a point; thence, North 19°35'03" West, 50.00 feet to a point and the true POINT OF BEGINNING; Thence, North 70°24'57" East, 60.00 feet to a point; Thence, South 19°35'03" East, 60.00 feet to a point; Thence, South 70°24'57" West, 60.00 feet to a point; Thence, North 19°35'03" West, 60.00 feet to a point and the true POINT OF BEGINNING.

Said tract contains 0.2296 acres (10,000 square feet), more or less, as shown in a survey prepared for Infinigy by Point To Point Land Surveyors, Inc. dated January 4, 2017.

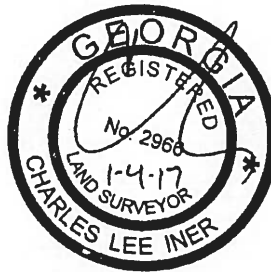


PROPOSED 20' INGRESS-EGRESS & UTILITY EASEMENT
INFINIGY
"COMMODORE"

Together with a proposed 20-foot wide ingress-egress and utility easement, lying and being in Land Lot 725, 19th District, 2nd Section, Cobb County, Georgia, and being more particularly described by the following centerline data:

To find the point of beginning, COMMENCE at a ½-inch rebar found on the easterly right-of-way of New Macland Road (having an 80-foot right-of-way); said pin also being the northwest corner of lands owned by WCP Equities LLC per deed book 14934 page 3620 Cobb County Records; thence running along said right-of-way, North 02°03'07" West, 13.11 feet to a point and the true POINT OF BEGINNING; Thence leaving said right-of-way and running, North 70°24'57" East, 165.00 feet to the ENDING at a point.

As shown in a survey prepared for Infinigy by Point To Point Land Surveyors, Inc. dated January 4, 2017.



JURISDICTION APPROVAL BOX

PROJECT SUMMARY

LATITUDE: 33° 52' 31.97" N
 LONGITUDE: 84° 40' 32.25" W
 GROUND ELEVATION: 964.7' AMSL
 TOWER HEIGHT: 170'
 JURISDICTION: CITY OF POWDER SPRINGS
 CURRENT ZONING: NRC
 PARCEL ID: 19072500020
 LAND LOT: 725
 DISTRICT: 19TH
 SECTION: 2ND
 AREA OF DISTURBANCE: ±6,900 SQ. FT.
 OCCUPANCY TYPE: UNMANNED
 ADA COMPLIANCE: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION

CONSULTING TEAM

CONSULTANTS:
 INFINGY8
 2255 SEWELL MILL ROAD
 SUITE 130
 MARIETTA, GA 30062
 PETER RYNER
 (678) 444-4463

CUSTOMER/APPLICANT:
 MUNICIPAL COMMUNICATIONS, LLC
 3495 PIEDMONT ROAD
 ELEVEN PIEDMONT CENTER,
 SUITE 441
 ATLANTA, GA 30305
 MONEY MANAGEMENT
 CONSULTANTS, LLC

PROPERTY OWNER:
 TBD

ELECTRIC PROVIDER:
 TBD

CONTACT:
 TBD

TELCO PROVIDER:
 TBD


CONTACT:
 TBD

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:

- 2012 IBC WITH GA AMENDMENTS
- 2012 INTERNATIONAL FIRE CODE
- 2012 INTERNATIONAL PLUMBING CODE WITH GA AMENDMENTS
- 2012 INTERNATIONAL MECHANICAL CODE WITH GA AMENDMENTS
- 2009 INTERNATIONAL ENERGY CODE WITH GA AMENDMENTS
- 2011 NATIONAL ELECTRIC CODE WITH GA AMENDMENTS
- NFPA 101 LIFE SAFETY CODE
- 2012 INTERNATIONAL FUEL GAS CODE WITH GA AMENDMENTS

IN THE EVENT OF ANY CONFLICT, THE MORE RESTRICTIVE CODE PROVISIONS SHALL GOVERN.



811

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A/E CONSULTANT:
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 MARIETTA, GA 30062
 (678) 444-4463

COBB SPR NUMBER
 TBD

SITE NAME
COMMODORE

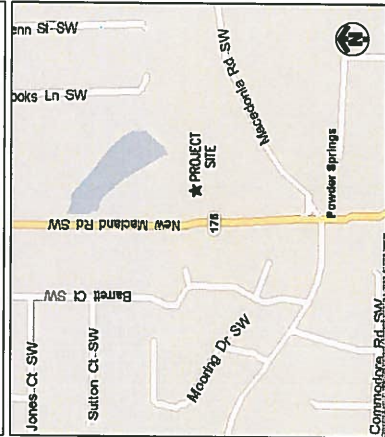
SITE ADDRESS
 3215 NEW MACLAND ROAD
 POWDER SPRINGS, GA 30127

PROPOSED 170' MONOPOLE TOWER WITHIN UNMANNED SECURE FENCED COMPOUND

AERIAL MAP



LOCATION MAP



DRAWING INDEX

NO.	DESCRIPTION
T1	TITLE SHEET
N01	GENERAL NOTES
N02	GENERAL NOTES
C01	OVERALL SITE LAYOUT
C02	ENLARGED SITE LAYOUT
C03	EROSION & SEDIMENT CONTROL PLAN
C04	EROSION & SEDIMENT CONTROL NOTES
C04A	EROSION & SEDIMENT CONTROL DETAILS
C04B	EROSION & SEDIMENT CONTROL CHECKLIST
C04C	EROSION & SEDIMENT CONTROL CHECKLIST
C05	TOWER ELEVATION
C06	CIVIL DETAILS
C07	CIVIL DETAILS
E01	ELECTRICAL PLAN
E02	UTILITY RACK DETAILS
E03	ELECTRICAL DETAILS
G01	GROUNDING SITE PLAN & NOTES
G02	GROUNDING DETAILS
G03	GROUNDING DETAILS
C01	COUNTY INFORMATION

ENGINEER'S LICENSE

CERTIFICATION STATEMENT:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR I AM THE DESIGNER OF RECORD AS A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF GEORGIA.
 LICENSED ENGINEER - STATE OF GEORGIA

DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. ON BE RESPONSIBLE FOR SAME.

INFINGY8
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 the solutions are endless
 2255 SEWELL MILL ROAD, SUITE 130
 MARIETTA, GA 30062
 (678) 444-4463

Author: _____ Date: _____
Designer: _____ Date: _____
Checker: _____ Date: _____
Infingy Project Number: _____
Infingy Project Number: _____

Project Title:
 COMMODORE
 3215 NEW MACLAND ROAD
 POWDER SPRINGS, GA 30127

Municipal Communications
 Municipal Communications, LLC
 3495 Piedmont Road
 Atlanta, GA 30305
 (404) 444-4463

Drawing Scale: _____
 AS NOTED
 Drawing Title: _____

TITLE SHEET
 Drawing Number: **T1**

GENERAL PROJECT NOTES

1. THE ENGINEER SHALL BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT ON A ONE TIME BASIS.
2. THE CONTRACTOR SHALL TOPSOIL AND SEED ALL DISTURBED AREAS.
3. THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURES ABOVE-GROUND STRUCTURES AND/OR UTILITIES BELIEVED TO EXIST IN THE WORKING AREA, EXACT LOCATION OF WHICH MAY VARY FROM THE LOCATIONS INDICATED. IN PARTICULAR, THE CONTRACTOR IS WARNED THAT THE EXACT OR EVEN APPROXIMATE LOCATION OF UTILITIES IN THIS AREA MAY BE SHOWN OR MAY NOT BE SHOWN, AND IT SHALL BE HIS RESPONSIBILITY TO PROCEED WITH GREAT CARE IN EXECUTING ANY WORK.
4. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT THE EXPRESSED APPROVAL OF THE ENGINEER.
5. THE CONTRACTOR IS INSTRUCTED TO COOPERATE WITH ANY AND ALL NECESSARY PERMITS AND REGULATIONS ON THIS JOB SITE DURING THE PERFORMANCE OF THIS CONTRACT.
6. THE CONTRACTOR SHALL RESTORE ALL PUBLIC OR PRIVATE PROPERTY TO ORIGINAL CONDITION AS BEFORE DISTURBED AS DETERMINED BY THE ENGINEER.
7. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIRED PERMITS.
8. ALL WORK SHALL BE SUBJECT TO ALL CITY, STATE, AND FEDERAL REGULATIONS, ORDINANCES, AND INSPECTIONS, CERTIFICATES, ETC.
9. THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE ENGINEER OR OWNER SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE UNDER THE SUPERVISION OF THE STATE LICENSED LAND SURVEYOR.
10. THE CONTRACTOR SHALL COOPERATE WITH ALL CONTRACTS FOR THE SPECIFICATIONS, AND COORDINATE WORK WITH ALL CONTRACTS FOR THE SITE.
11. ALL TRENCH EXCAVATION AND ANY REQUIRED SHEETING AND SHORING SHALL BE DONE IN ACCORDANCE WITH THE LATEST REVISIONS OF THE JURISDICTION'S STATE CODE AND OSHA REGULATIONS FOR CONSTRUCTION.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF WORK.
13. ALL UTILITY WORK INVOLVING CONNECTIONS TO EXISTING SYSTEMS SHALL BE COORDINATED WITH THE ENGINEER AND THE UTILITY OWNER. NOTIFY THE ENGINEER 24 HOURS BEFORE EACH AND EVERY CONNECTION TO EXISTING SYSTEMS IS MADE.
14. MAINTAIN FLOW FOR ALL EXISTING UTILITIES.
15. ALL SITE FILL SHALL MEET SELECTED FILL STANDARDS UNLESS NOTED OTHERWISE ON THE DRAWINGS.
16. CONTRACTOR TO GRADE ALL AREAS ON THE SITE TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE COMPOUND AND THE TOWER.
17. THE CONTRACTOR SHALL TAKE TIES TO ALL UTILITY CONNECTIONS AND PROVIDE MARKED-UP AS-BUILT PLANS. AS-BUILT PLANS SHALL BE REVIEWED BY THE OWNER AND HIS REPRESENTATIVES. AND THE CONTRACTOR SHALL PROVIDE ANY CORRECTIONS BEFORE SUBMITTING TO THE SUFFICIENCY OF THE OWNER AND HIS REPRESENTATIVES BEFORE UTILITIES ARE ACCEPTED. AS-BUILT'S SHALL INCLUDE ALL POWER, TELEPHONE, GROUNDING, ETC.
18. TOWER FOOTING DIMENSIONS SHALL BE VERIFIED WITH THE TOWER MANUFACTURER AND THE TOWER PLANS.
19. SIGN SHALL BE PROVIDED PER FEDERAL COMMUNICATIONS COMMISSION (FCC REQUIREMENT).

GENERAL CONSTRUCTION NOTES

1. GENERAL
 - A. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
 - B. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE UNDERGROUND UTILITIES.
 - C. ALL EXISTING UTILITIES TO BE MAINTAINED OR RELOCATED SHALL BE REPORTED TO THE OWNER PRIOR TO REPAIR OR CORRECTIVE ACTION. ANY SUCH ACTION SHALL REQUIRE APPROVAL.
 - D. EACH CONTRACTOR SHALL COOPERATE WITH THE OWNER'S REPRESENTATIVE, AND COORDINATE HIS WORK WITH THE WORK OF OTHERS.
 - E. PAINT ALL ANTENNAS, MOUNTING HARDWARE, CABLES, CABLE TRAYS, ETC. TO MATCH EXISTING STRUCTURE PER OWNER REQUIREMENTS. OWNER SHALL APPROVE COLOR.
 - F. ALL DAMAGED, MARRED, SCRAPED, ABRASSED, ETC. AREAS OF EXISTING PAINT SHALL BE REPAIRED PER OWNER REQUIREMENTS. OWNER SHALL APPROVE COLOR.
2. EXCAVATIONS/FOUNDATION
 - A. FOUNDATION EXCAVATION SHALL BE HAND-TRIMMED TO REMOVE LOOSE MATERIALS.
 - B. EXTERIOR FOUNDATION BACKFILL SHALL BE SELECTED GRANULAR FILL.
 - C. ALL STRUCTURAL BACKFILL AND SUBBASE UNDER SLABS-ON-GRADE AND FOOTINGS SHALL BE "SW" OR BETTER PER ASTM D-2487 COMPACTED TO A MINIMUM 95% STANDARD PROCTOR DENSITY PER ASTM D 698.
 - D. DO NOT PLACE FOOTINGS IN WATER OR ON FROZEN GROUND.
 - E. SOIL BEARING SURFACES, PREVIOUSLY ACCEPTED BY GEOTECHNICAL ENGINEER, SHALL BE REWORKED TO SATISFACTION OF GEOTECHNICAL ENGINEER.
 - F. DO NOT ALLOW GROUND BENEATH FOOTINGS TO FREEZE.
 - G. FOOTING EXCAVATIONS SHALL BE CUT NEAT.
3. CONCRETE
 - A. DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF THE FOLLOWING APPLICABLE CODES: ACI 301, ACI 308, ACI 309, ACI 310, ACI 318, ACI 319, ACI 323, ACI 324, ACI 325, ACI 327, ACI 328, ACI 329, ACI 330, ACI 332, ACI 333, ACI 334, ACI 335, ACI 336, ACI 337, ACI 338, ACI 339, ACI 340, ACI 341, ACI 342, ACI 343, ACI 344, ACI 345, ACI 346, ACI 347, ACI 348, ACI 349, ACI 350, ACI 351, ACI 352, ACI 353, ACI 354, ACI 355, ACI 356, ACI 357, ACI 358, ACI 359, ACI 360, ACI 361, ACI 362, ACI 363, ACI 364, ACI 365, ACI 366, ACI 367, ACI 368, ACI 369, ACI 370, ACI 371, ACI 372, ACI 373, ACI 374, ACI 375, ACI 376, ACI 377, ACI 378, ACI 379, ACI 380, ACI 381, ACI 382, ACI 383, ACI 384, ACI 385, ACI 386, ACI 387, ACI 388, ACI 389, ACI 390, ACI 391, ACI 392, ACI 393, ACI 394, ACI 395, ACI 396, ACI 397, ACI 398, ACI 399, ACI 400, ACI 401, ACI 402, ACI 403, ACI 404, ACI 405, ACI 406, ACI 407, ACI 408, ACI 409, ACI 410, ACI 411, ACI 412, ACI 413, ACI 414, ACI 415, ACI 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 - B. THE FOLLOWING MATERIALS SHALL BE USED:
 - PORTLAND CEMENT: ASTM C 150, TYPE I
 - REINFORCEMENT: ASTM A 615, GRADE 60
 - NORMAL WEIGHT AGGREGATE: ASTM C 33
 - WATER: DRINKABLE
 - ADMixTURES: NON-CHLORIDE CONTAINING
 - F. REINFORCING SHALL CONFORM TO ASTM A-615 WITH SUPPLEMENT. MINIMUM BENDING RADIUS SHALL BE 4 TIMES THE BAR DIAMETER. REINFORCING DETAILS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
 - G. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED EARTH.....3"
 1. CONCRETE EXPOSED TO EARTH, WEATHER.....2"
 2. SLABS.....2"
 3. ALL OTHER CONCRETE.....1 1/2"
 - H. UNLESS INDICATED OTHERWISE ON THE DRAWINGS, REINFORCEMENT SPLICES SHALL MEET CLASS B, TENSION LAP REQUIREMENTS IN ACCORDANCE WITH ALL PROVISIONS OF ACI 318 LATEST EDITION, UNLESS NOTED OTHERWISE.

AE CONSULTANT
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 2225 SERRA LUNA ROAD, SUITE 130
 MARIPOSA, CA 95335
 (562) 917-4443
 (562) 917-4443

NO.	REVISION/DESCRIPTION	DATE
1	ISSUED FOR PERMIT	01/02/17
2	ISSUED FOR PERMIT	01/02/17
3	ISSUED FOR PERMIT	01/02/17
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5	ISSUED FOR PERMIT	01/02/17
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30	ISSUED FOR PERMIT	01/02/17

Drawn: _____ Date: 01/02/17
 Designed: _____ Date: 01/02/17
 Checked: _____ Date: 01/02/17
 Safety Project Number: 1203001

Project Title: **COMMODORE**
 214 NEWBANK AND ROAD
 POWERS SPRINGS, GA 30127

Municipal Communications
 Municipal Communications, LLC
 3185 Piedmont Rd
 Atlanta, GA 30305
 (404) 252-1000
 (404) 252-1885

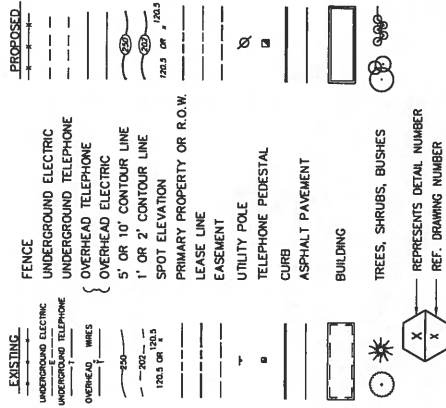
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 Drawing Title: GENERAL NOTES

Drawing Number: **NO1**

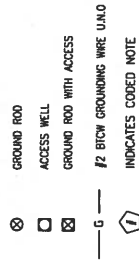
GENERAL CONSTRUCTION NOTES CONT.

- J. CURING COMPOUNDS SHALL CONFORM TO ASTM C-309
- K. ADMIXTURES SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN ACI-301.
- L. DO NOT WELD OR TACKLEWELD REINFORCING STEEL
- M. ALL DOMELS, ANCHOR BOLTS, EMBEDDED STEEL, ELECTRICAL CONDUITS, PIPE SLEEVES, PIPING, WATERSTOPS, INSERTS, GROUNDS, AND ALL OTHER EMBEDDED ITEMS AND FORMED DETAILS SHALL BE IN PLACE BEFORE START OF CONCRETE PLACEMENT.
- N. LOCATE ADDITIONAL CONSTRUCTION JOINTS REQUIRED TO FACILITATE CONSTRUCTION AS ACCEPTABLE TO ENGINEER. PLACE REINFORCEMENT CONSECUTIVELY THROUGH JOINT.
- O. REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED.
- P. PLACE CONCRETE IN A UNIFORM MANNER TO PREVENT THE FORMATION OF COLD CHUTES. VIBRATE CONCRETE TO FULLY COMPACT AND TO ELIMINATE AIR ENTRAPMENT. DO NOT USE VIBRATORS TO TRANSPORT CONCRETE THROUGH CHUTES OR FORMWORK.
- Q. DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND.
- R. SETTING PERIOD, OR FOR A MINIMUM OF 14 DAYS AFTER PLACEMENT.
- S. FOR COLD-WEATHER AND HOT-WEATHER CONCRETE PLACEMENT, CONFORM TO APPLICABLE ACI CODES AND RECOMMENDATIONS. IN EITHER CASE, MATERIALS CONTAINING CHLORIDE, CALCIUM SALTS, ETC. SHALL NOT BE USED. PROTECT FRESH CONCRETE FROM WEATHER FOR 7 DAYS MINIMUM.
- T. PROVIDE A STEEL TROWEL FINISH TO THE SLAB.
- U. ANTENNA SUPPORT BRACKET NOTES (IF APPLICABLE)
- V. DESIGN RESPONSIBILITY OF ANTENNA MOUNTING BRACKETS AND POLES AND ALL COMPONENTS THERE OF AND ATTACHMENT THERE TO SHALL BE THE RESPONSIBILITY OF THE MANUFACTURER. IFR SHALL PROVIDE TO THE ENGINEER FOR APPROVAL, ALL DRAWINGS AND ALL OTHER PERTINENT DATA.
- W. BRACKETS SHALL BE DESIGNED TO SUPPORT CURRENT AND FUTURE PANEL ANTENNAS AND COAXIAL CABLES AS SHOWN.
- X. STRUCTURAL STEEL NOTES
 - A. STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS".
 - B. STEEL ANGLES, BASE PLATES, BEARING PLATES AND MISC. FABRICATION SHALL BE MADE FROM STEEL MEETING THE REQUIREMENTS OF ASTM-A36 WITH A MINIMUM YIELD STRESS OF 36 KSI. ALL STEEL TUBES AND PIPES SHALL BE A500 STEEL MINIMUM.
 - C. ALL DIMS, SCRAPERS, MARKS, AND WELDS IN THE FINISHED AREAS SHALL BE REPAIRED BY FIELD TOUCH-UP PRIOR TO COMPLETION OF THE WORK.
 - D. ALL EXTERIOR STRUCTURAL STEEL SHALL BE WHEN DELIVERED, HOT-DIP GALVANIZED ACCORDING TO ASTM A153. GALVANIZING SHALL BE APPLIED IN TWO COATS OF GALVANIZED PAINT, ZRC COLD GALVANIZING COMPOUND OR APPROVED EQUAL.
 - E. DO NOT PLACE HOLES THROUGH STRUCTURAL STEEL MEMBERS EXCEPT AS SHOWN AND DETAILED ON STRUCTURAL DRAWINGS.
 - F. CONNECTIONS:
 - 1. WELD (SHELDIED METAL ARC) - ELECTRODES SHALL BE E70XX MINIMUM AND BE IN ACCORDANCE WITH AWS D1.1 UNLESS NOTED OTHERWISE.
 - 2. MINIMUM CAPACITY OF CONNECTIONS: FOR CONNECTIONS NOT DETAILED, PROVIDE CONNECTION CAPACITY OF AT LEAST THAT REQUIRED BY PART 2 OF THE AISC (LATEST EDITION) IN THE SECTION "ALLOWABLE LOADS ON BEAMS". FOR TUBES AND CHANNELS, SEE STEEL SPECIFICATIONS. CONCENTRATED LOADS NEAR SUPPORTS MUST BE ADDED.
 - 3. CONNECTION DESIGN BY FABRICATOR WILL BE SUBJECT TO REVIEW AND APPROVAL.
 - 4. BOLTED CONNECTIONS SHALL USE BEARING TYPE GALVANIZED ASTM A325 BOLTS (3/4" DIA.) AND SHALL HAVE A MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.
 - 5. NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" DIA. GALVANIZED ASTM A307 BOLTS UNLESS NOTED OTHERWISE.

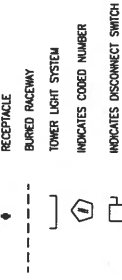
CIVIL LEGEND



GROUNDING SYMBOLS



ELECTRICAL SYMBOLS



ABBREVIATIONS

- CGBE COAX ISOLATED GROUND BAR EXTERNAL
- MIGB MASTER ISOLATED GROUND BAR
- SST SELF SUPPORTING TOWER
- GPS GLOBAL POSITIONING SYSTEM
- TYP. TYPICAL
- DMG DRAINAGE
- BCW BARE COPPER WIRE
- BFG BELOW FINISH GRADE
- W// WITH
- PVC POLYVINYL CHLORIDE
- CAB CABINET
- C CONDUIT
- SS STAINLESS STEEL
- G GROUND
- AWG AMERICAN WIRE GAUGE
- RIGID GALVANIZED STEEL
- AWG GALVANIZED STEEL
- ALUM. ALUMINUM
- TLLM TOWER TOP LIGHT MULTIPLIER
- UNO UNLESS NOTED OTHERWISE
- EMT ELECTRICAL METALLIC TUBING

INFINIGY8 FROM ZERO TO INFINIGY
 AE Consultant: 2255 SHELLETT ROAD, SUITE 100, MARLBOROUGH, MA 01901, USA
 Phone: 978.444.4444

Municipal Communications
 3216 NEW MACLAND ROAD, POWDER SPRINGS, GA 30127
 Phone: 770.495.1800
 Fax: 770.495.1809
 Email: info@infinigy.com

COMMODORE
 Project Title: 3216 NEW MACLAND ROAD, POWDER SPRINGS, GA 30127

GENERAL NOTES
 Drawing Scale: AS NOTED
 Drawing Title: COMMODORE

NO2
 Drawing Number: 120300L

DATE: 08/20/2012
 DRAWN BY: [Name]
 CHECKED BY: [Name]

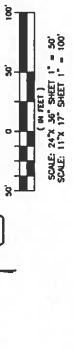
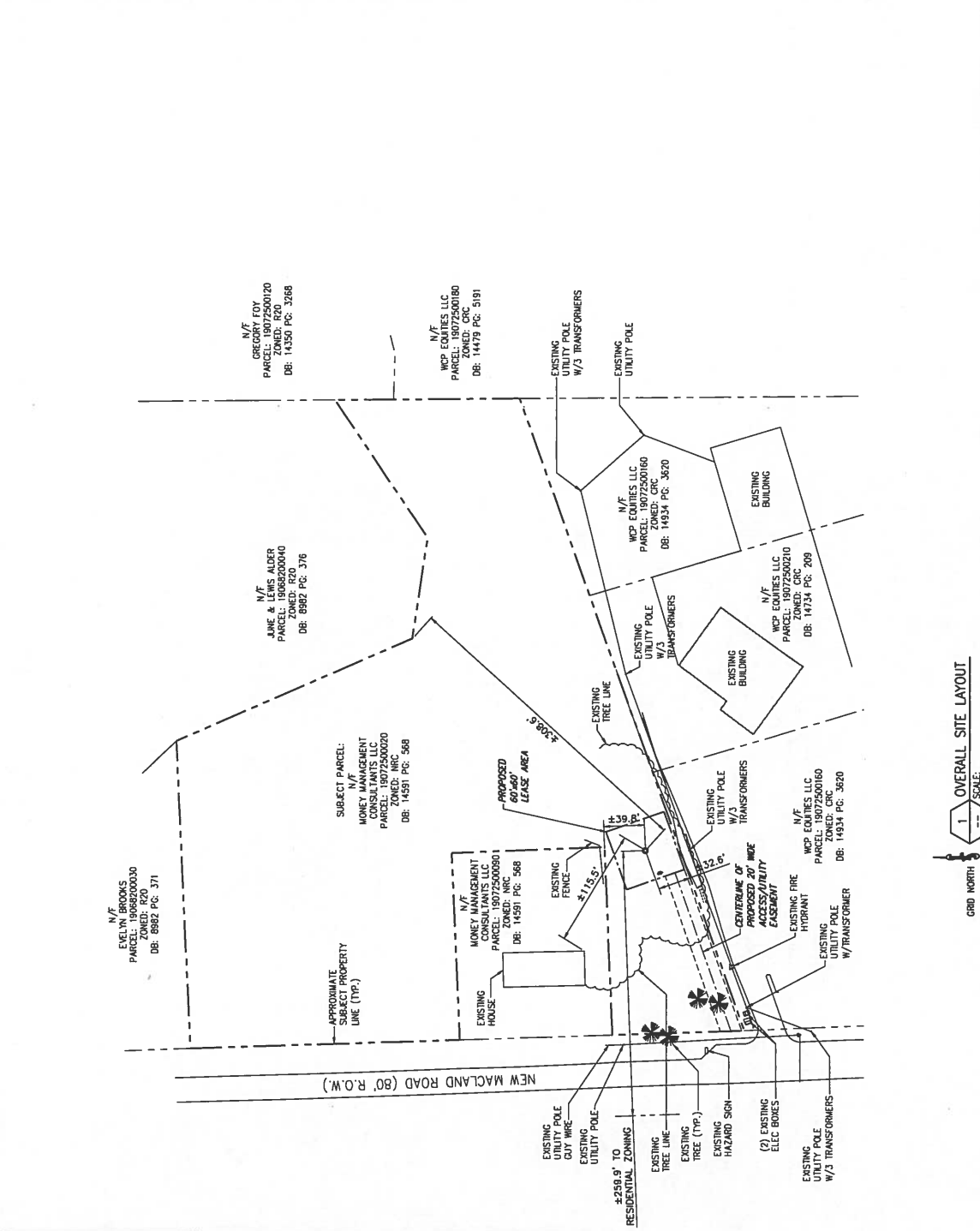
No.	Revision/Description	Date
1	ISSUED FOR PERMITS	06/07/17
2	REVISED FOR COMMENTS	06/07/17

Drawn: Date: 06/07/17
 Checked: Date: 06/07/17
 Designed: Date: 06/07/17
 Utility Project Number: 103-388A

COMMODORE
 2614 NEW MACLAND ROAD
 POWDER SPRINGS, GA 30127

Municipal Communications
 Municipal Communications, LLC
 4150 Peachtree Industrial Blvd., Suite 411
 Atlanta, GA 30326
 Phone: (404) 985-1885
 Fax: (404) 985-1885

BASEMAP INFORMATION AND DISTANCES SHOWN BASED ON SURVEY PREPARED BY POINT TO POINT LAND SURVEYORS, INC. DATED 01/04/17.



FAA NOTE:
 1. FAA FORM 7460-2 MUST BE E-FILED ANYTIME THE PROJECT IS ABANDONED OR WITHIN 90 DAYS AFTER THE CONSTRUCTION BEGINS ITS GREATERT REORT.

ZONING DIVISION NOTES:
 1. FOR THE COMMERCIALS WITH DISABILITIES ACT (ADA), EXCEPT FOR A NOTIFICATION REQUIREMENT, THE OWNER/DEVELOPER IS SOLELY RESPONSIBLE FOR COMPLIANCE WITH 2010 ADA CONSTRUCTION TRAILERS TO BE PERMITTED THROUGH THE ZONING DIVISION.

Cemetery Preservation Note:
 1. THE ZONING DIVISION PRESERVES THE RIGHT TO EXAMINE THIS PROPERTY FOR ETHNIC, CULTURAL AND RELIGIOUS EVIDENCE OF HISTORIC SIGNIFICANCE. IF HISTORIC OR RELIGIOUS EVIDENCE IS FOUND DURING DEVELOPMENT, THEN THE COBB COUNTY CEMETERY PRESERVATION COMMISSION MUST BE NOTIFIED AT ONCE AT (770) 528-2035. STOP-WORK ORDER WILL RESULT IN A STOP-WORK ORDER.

COBB FIRE AND EMERGENCY SERVICES NOTE:
 1. SITE PLAN APPROVAL DOES NOT INCLUDE TANKS AND GENERATORS. TANKS AND GENERATORS SHALL BE PERMITTED SEPARATELY AT CFCMO. CALL (770) 528-2035 TO SCHEDULE AN APPOINTMENT FOR PLAN REVIEW.

2. SHOW TRANSFORMER PADS NO LESS THAN 14 FEET FROM ANY DOOR, 10 FEET FROM ANY BUILDING, OVERHANGS, CANOPIES, EXTERIOR LIGHTS OR WALL OPENINGS. PROVIDE DIMENSIONS FOR VISUAL COMPLIANCE REFERENCE. (STATE MODIFICATIONS IFC 605.11)

COBB EROSION & SEDIMENT CONTROL NOTE:
 1. IN CONCENTRATED FLOW AREAS, ALL SLOPES STEEPER THAN 2:5 TO 1:4 AND WITH A HEIGHT TEN FEET OR GREATER, AND CUTS AND EXPOSED SOILS SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKET. ALL GRADED SLOPES ON INDIVIDUAL PROJECTS SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES. ALL SLOPES SHALL BE REINFORCED TO RETAIN THE RESULTING EMBANKMENT.

AE Consultant
INFINIGY8
 FROM ZERO TO INFINIGY
 The solutions are endless
 2255 SHELBY HILL ROAD, SUITE 130
 MARLBETTA, GA 30062
 (404) 471-4443

No.	Revised/Revision	Date	By
0	Sheet for review	12/10/2017	JAS

WE HAVE PROVIDED THIS PLAN AND ALL INFORMATION HEREON TO YOU FOR YOUR USE ONLY. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

Project Title: **COMMODORE**
 3215 NEW MACLAND ROAD
 POWDER SPRINGS, GA 30127

Client: **Municipal Communications**
 Municipal Communications, LLC
 4000 Peachtree Center, Suite 411
 Atlanta, GA 30308
 (404) 395-1800
 FAX: (404) 395-1850

Drawing Scale: **AS SHOWN**
 Drawing Title: **ENLARGED SITE LAYOUT**

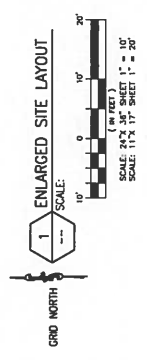
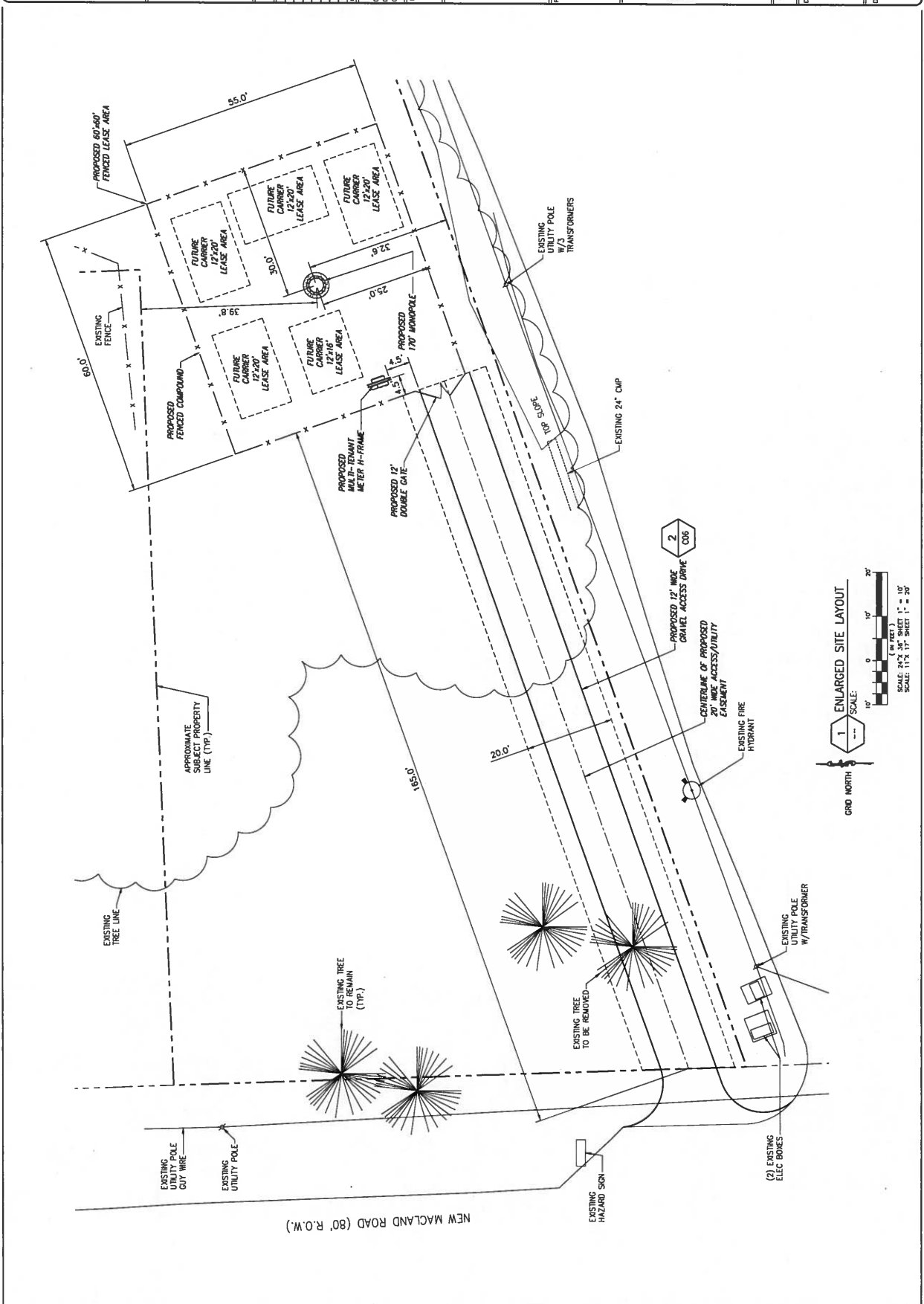
Energy Project Number: **J26388**

Project Title: **COMMODORE**
 3215 NEW MACLAND ROAD
 POWDER SPRINGS, GA 30127

Municipal Communications
 Municipal Communications, LLC
 4000 Peachtree Center, Suite 411
 Atlanta, GA 30308
 (404) 395-1800
 FAX: (404) 395-1850

Drawing Scale: **AS SHOWN**
 Drawing Title: **ENLARGED SITE LAYOUT**

Drawing Number: **C02**



I CERTIFY THAT THE PERMITTEE'S EROSION SEDIMENTATION AND POLLUTION CONTROL PLAN, PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE EROSION CONTROL MANUAL PUBLISHED BY THE GEORGIA WATER QUALITY CONTROL COMMISSION AS OF JANUARY 1 OF THIS YEAR IN WHICH THE WATER-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE GENERAL NPDES PERMIT DIS. CAR 1000001, CAR 1000002 AND CAR 1000003.

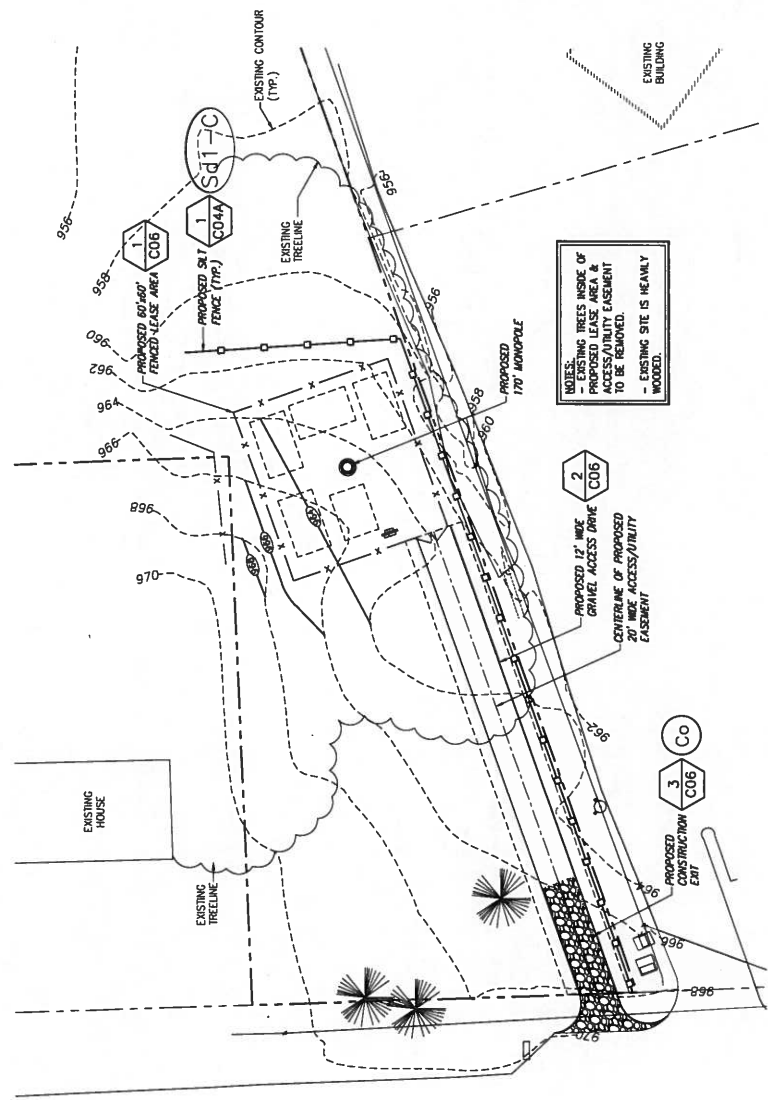
BY: CHRISTOPHER J. WARREN REGISTERED GEORGIA ENGINEER No. PE27375

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE PROJECT HERE-IN BY MYSELF OR MY AUTHORIZED AGENT UNDER MY DIRECT SUPERVISION.

BY: CHRISTOPHER J. WARREN REGISTERED GEORGIA ENGINEER No. PE27375

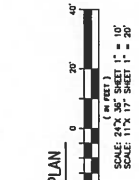
THE PROPOSED EROSION AND RUNOFF CONTROL MEASURES ARE IN COMPLIANCE WITH THE COBB COUNTY SEDIMENT CONTROL AND FLOOD PROTECTION REGULATIONS AND WILL NOT BE SUBJECT TO A SITE FOR REINSPECTION WITH A RETURN PERIOD OF 2, 5, 10, 25, 50 AND/OR 100 YEARS.

BY: CHRISTOPHER J. WARREN REGISTERED GEORGIA ENGINEER No. PE27375



NOTES:
 - EXISTING TREES INSIDE OF PROPOSED LEASE AREA & ACCESS/UTILITY EASEMENT TO BE REMOVED.
 - EXISTING SITE IS HEAVILY WOODED.

TOTAL SITE AREA:	\$3,800 SQ. FT.
DISTURBED SITE AREA:	\$5,800 SQ. FT.
IMPERVIOUS SITE AREAS:	
TOWER AREA:	\$35 SQ. FT.
TOTAL IMPERVIOUS AREA:	\$1187 SQ. FT.
TOTAL IMPERVIOUS AREA IS LESS THAN 5000 SQUARE FEET. THEREFORE THE NUMBER QUALITY AND DETENTION IS REQUIRED.	
NO OVER THE WALL FLOWS AND NO CONCENTRATED FLOWS ONTO ADJACENT PROPERTIES SHALL OCCUR AT THIS SITE.	



- EROSION & SEDIMENT CONTROL NOTES:**
1. EROSION CONTROL PRACTICES MUST COMPLY WITH THE MINIMUM BEST MANAGEMENT PRACTICES FOR EROSION CONTROL (BMP) SET FORTH IN SECTION 505-2-1.1 OF THE GEORGIA WATER QUALITY CONTROL ACT AND THE EROSION CONTROL MANUAL PUBLISHED BY THE GEORGIA WATER QUALITY CONTROL COMMISSION AS OF JANUARY 1 OF THIS YEAR IN WHICH THE WATER-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE GENERAL NPDES PERMIT DIS. CAR 1000001, CAR 1000002 AND CAR 1000003.
 2. IN CONCENTRATED FLOW AREAS, ALL SLOPES STEEPER THAN 2.5:1 AND WITH A HEIGHT TEN FEET OR GREATER, AND CUTS SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKET.
 3. MULCH TEMPORARY VEGETATION ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER THE DISTURBANCE. THIS NOTE APPLIES AFTER THE INITIAL GRADING OR DEVELOPMENT OF THE LOT.
 4. DISTURBED AREAS LEFT IDLE FOR 5 DAYS, AND NOT TO FINAL GRADE, WILL NEED TO ESTABLISH TEMPORARY VEGETATION BY USING D32. ALL AREAS TO FINAL GRADE WILL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKET.
 5. WHEN PLANTING VEGETATION, MULCH (HAY OR STRAW) SHOULD BE APPLIED TO THE OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING.
 6. COBB COUNTY LAND DISTURBANCE REGULATIONS REQUIRE THAT ALL DISTURBED AREAS ON-SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A COUNTY ROAD OR STREET.
 7. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. PLEASE CALL (770) 528-2134 WITH ENOUGH LEAD-TIME FOR AN INSPECTION TO MEET YOUR SCHEDULE.
 8. SEDIMENT/EROSION DEVICES MUST BE CHECKED AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF NECESSARY. POLYMERS SHOULD BE APPLIED TO THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INSTALLED IF NEW CHANNELS HAVE DEVELOPED.
 9. THE USE OF POLYMERS (PAM) IS ACCEPTED AS A BMP AS RECOMMENDED BY THE STATE SOIL & WATER CONSERVATION COMMISSION BMP "GREEN BOOK". COBB COUNTY ALSO REQUIRES THAT POLYMERS MUST BE USED IN CONJUNCTION WITH MULCHING AND OR HYDRO SEEDING.
 10. ADDITIONAL EROSION CONTROL DEVICES TO BE USED AS REQUIRED BY COBB COUNTY.
 11. IF STREAMS ARE ON YOUR SITE, COBB COUNTY WILL REQUIRE THAT THE STREAM CHANNELS BE STABILIZED WITH AN EROSION CONTROL EASEMENT OR A RESTRICTIVE COVENANT BE PLACED ON THAT PROPERTY. FOR MORE INFORMATION, PLEASE FEEL FREE TO CONTACT THE PLANNING DEPARTMENT AT (770) 528-2189 OR DANA.JOHNSON@COBBCOUNTY.GA.GOV
 12. PLEASE CONTACT JOHN THROCKMORTON AT (770) 528-2189 FOR ANY ADDITIONAL CONTACT RESPONSIBLE FOR EROSION, SEDIMENTATION AND POLLUTION CONTROLS.

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 FROM ZERO TO INFINITY
 THE SOLUTIONS ARE SIMPLE

REV.	REVISION/NUMBER	DATE
1	ISSUED FOR PERMITS	04/04/2022
2	ISSUED FOR PERMITS	04/04/2022
3	ISSUED FOR PERMITS	04/04/2022
4	ISSUED FOR PERMITS	04/04/2022
5	ISSUED FOR PERMITS	04/04/2022
6	ISSUED FOR PERMITS	04/04/2022
7	ISSUED FOR PERMITS	04/04/2022
8	ISSUED FOR PERMITS	04/04/2022
9	ISSUED FOR PERMITS	04/04/2022
10	ISSUED FOR PERMITS	04/04/2022

APPROVED: A. VAUGHAN, PROJECT MANAGER
 DATE: 04/04/2022
 APPROVED: S. VAUGHAN, PROJECT MANAGER
 DATE: 04/04/2022

Drawn: _____ Date: 03/07/22
 Checked: _____ Date: 03/07/22
 Heavy Project Number: 1203208

Project Name: **COMMODORE**
 5215 NEW MACLAND ROAD
 POWDER SPRINGS, GA 30127

Municipal Engineering Consultants
 2425 Peachtree Road, Suite 411
 Atlanta, GA 30329
 (404) 488-9288

Drawing Scale: **AS NOTED**
EROSION & SEDIMENT CONTROL PLAN
 Drawing Number: **C03**

GRADING & EXCAVATING NOTES:

- ALL EXCAVATIONS ON WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL AND UNDISTURBED AND UNFROZEN SOIL AND BE FREE FROM LOOSE MATERIAL AND EXCESS GROUNDWATER, DEWATERING FOR EXCESS GROUNDWATER SHALL BE PROVIDED IF REQUIRED.
- CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC MATERIAL. IF SOUND SOIL IS NOT REACHED AT THE DESIGNATED EXCAVATION DEPTH, THE EXCAVATION SHALL BE DEEPENED TO REACH SOUND SOIL. EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION BE FILLED WITH CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION.
- ANY EXCAVATION OVER THE REQUIRED DEPTH SHALL BE FILLED WITH EITHER MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION. CHISELED STONES MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. STONE, IF USED, SHALL NOT BE USED AS COMPILING CONCRETE THICKNESS.
- AFTER COMPLETION OF THE FOUNDATION AND OTHER CONSTRUCTION BELOW UNSATURABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH, GRADE, AND BEFORE BACKFILLING, ALL EXCAVATIONS SHALL BE CLEAN OF UNSATURABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH.
- USE APPROVED MATERIALS CONSISTING OF EARTH, LOAM, SANDY CLAY SAND -BE FREE FROM CLOSE OR STONES OVER 2-1/2" MAXIMUM DIMENSIONS -BE PLACED IN 6" LAYERS AND COMPACTED TO 98% STANDARD PROCTOR EXCEPT IN GRASSED/LANDSCAPED AREAS, WHERE 90% STANDARD PROCTOR
- REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE PRIOR TO PLACING FILLS, FLOW, STRIPS, OR BREAK UP SLOPED SURFACES STEEPER THAN 3:1. EXCEPT AS NOTED OTHERWISE, ALL EXCAVATIONS SHALL BE REPAIRED TO EXISTING GRADE OR EXISTING GROUND SURFACE TO RECEIVE FILL HAS RESISTANCE LESS THAN THAT REQUIRED FOR FILL. BREAK UP GROUND SURFACE TO DEPTH REQUIRED. PULVERIZE, MOISTURE-CONDITION OR AERATE SOIL AND RECOMPACT TO REQUIRED DENSITY.
- PROTECT EXISTING GRAVEL SURFACING AND SUBGRADE IN AREAS WHERE EQUIPMENT LOADS WILL OCCUR. USE PLANKING OR OTHER SUITABLE MATERIALS DESIGNED TO SPREAD EQUIPMENT LOADS. REPAIR DAMAGE TO EXISTING GRAVEL SURFACING OR SUBGRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTOR'S OPERATIONS. DAMAGED GRAVEL SURFACING SHALL BE RESTORED TO MATCH THE ADJACENT UNDAUNAGED GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS.
- REPLACE EXISTING GRAVEL SURFACING ON AREAS FROM WHICH GRAVEL SURFACING IS REMOVED DURING CONSTRUCTION OPERATIONS. GRAVEL SURFACING SHALL BE REPLACED TO MATCH EXISTING ADJACENT GRAVEL SURFACING AND SHALL BE OF THE SAME THICKNESS. EXISTING GRAVEL SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED IN VARIOUS AMOUNTS OF EARTH, ORGANIC MATTER, OR OTHER DELETERIOUS MATERIALS AS REQUIRED. BEFORE GRAVEL SURFACING IS REPLACED, SUBGRADE SHALL BE GRADED TO CONFORM TO THE EXISTING GRAVEL SURFACING. GRAVEL SURFACING SHALL BE THOROUGHLY COMPACTED. DEPRESSIONS IN THE SUBGRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. GRAVEL SURFACING MATERIAL MAY BE USED FOR FILLING DEPRESSIONS IN THE SUBGRADE, SUBJECT TO ENGINEER'S APPROVAL.
- DAMAGE TO EXISTING STRUCTURES AND UTILITIES RESULTING FROM CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED/REPLACED TO OWNER'S SATISFACTION AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH PROPERTY OWNER SO AS TO AVOID INTERRUPTIONS DURING AND AFTER COMPLETION OF CONSTRUCTION.
- ENSURE POSITIVE DRAINAGE DURING AND AFTER COMPLETION OF CONSTRUCTION.
- ALL CUT AND FILL SLOPES SHALL BE MAXIMUM 2 HORIZONTAL TO 1 VERTICAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING SITE VEHICLE TRAFFIC AS TO NOT ALLOW VEHICLES LEAVING THE SITE TO TRACK GRAVEL ON PUBLIC STREETS. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING PUBLIC STREETS DUE TO MUDDY VEHICLES LEAVING THE SITE.

ADDITIONAL COBB COUNTY NOTES:

- EROSION CONTROL PRACTICES MUST COMPLY WITH THE MINIMUM BEST MANAGEMENT PRACTICES FOR EROSION CONTROL. COBB CO. CODES SECT. 50-75, AND SHALL COMPLY WITH THE STANDARDS/SPECIFICATIONS IN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
- IN CONCENTRATED FLOW AREAS ALL SLOPES STEEPER THAN 2.5:1 AND WITH HEIGHT TEN FEET OR MORE, EROSION CONTROL BUFFERS SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKET.
- C. MULCH TEMPORARY VEGETATION ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE.
- D. DISTURBED AREAS LEFT BARE FOR 5 DAYS, AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION (D2). ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION (D3) IMMEDIATELY UPON COMPLETION.
- E. WHEN PLACING VEGETATION, MULCH (MAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDS AREA WITH IN 24 HOURS OF SEEDING.
- F. COBB COUNTY LAND DISTURBANCE PERMIT PERMITS MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A COUNTY ROAD OR STREET.
- G. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING INSPECTION TO MEET YOUR SCHEDULE.

GENERAL EROSION & SEDIMENT CONTROL NOTES:

- THE SOIL EROSION AND SEDIMENT CONTROL MEASURES AND DETAILS AS SHOWN SHALL BE FOLLOWED AND INSTALLED IN A MANNER SO AS TO MINIMIZE EROSION LEAVING THE SITE.
- PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND PERMANENTLY MARKED WITH STRIKES, RIBBONS, OR OTHER APPROPRIATE MEANS.
- EROSION CONTROL DEVICES SHALL BE INSTALLED BEFORE GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM SHOWN ON THE DRAWING TO ACCOMMODATE THE ACTUAL SLOPE OF THE SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL ALL DISTURBED AREAS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ALL DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL INSPECTED BY THE LOCAL JURISDICTION INSPECTOR. CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.
- THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN THE SILT IS WITHIN 12" OF THE TOP OF THE SILT FENCE.
- FAILURE TO INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION CORRECTED.
- SILT BARRIERS TO BE PLACED AT DOWNSTREAM TOE OF ALL CUT AND FILL SLOPES.
- ALL CUT AND FILL SLOPES MUST BE SURFACED ROUGHENED AND VEGETATED WITHIN SEVEN (7) DAYS OF THEIR CONSTRUCTION.
- CONTRACTOR SHALL REMOVE ALL EROSION & SEDIMENT CONTROL MEASURES AFTER COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL LAND-DISTURBING ACTIVITIES.

WHEN HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS USED, NO GRADING AND SHAPING OR SEEDBED PREPARATION WILL BE REQUIRED. THE FERTILIZER, SEED AND WOOD CELLULOSE FIBER MUST BE COMBINED TO FORM A HOMOGENEOUS MIXTURE AND SPREAD UNIFORMLY OVER THE AREA WITHIN ONE HOUR AFTER MIXTURE IS MADE. STRAW OR HAY MULCH AND ASPHALT EMULSION WILL BE APPLIED WITH BLOWER-TYPE MULCH SPREADING EQUIPMENT WITHIN 24 HOURS AFTER SEEDING. MULCH SHALL BE APPLIED UNIFORMLY OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED.

CONVENTIONAL SEEDING EQUIPMENT

GRADE, SHAPE AND SMOOTH WHERE NEEDED TO PROVIDE FOR SAFE EQUIPMENT OPERATION AT SEEDING TIME AND FOR MAINTENANCE PURPOSES. THE LINE AND FERTILIZER IN DRY FORM WILL BE SPREAD UNIFORMLY OVER THE AREA IMMEDIATELY BEFORE SEEDBED PREPARATION. A SEEDBED WILL BE PREPARED BY SCRAPING TO A DEPTH OF 1.0 TO 4.0 INCHES AS DETERMINED BY THE ENGINEER. THE SEED AND FERTILIZER SHALL BE SPREAD UNIFORMLY OVER THE AREA BY SEEDER. SEED WILL BE DISTRIBUTED UNIFORMLY OVER A FRESHLY PREPARED SEEDBED AND COVERED LIGHTLY. WITHIN 24 HOURS AFTER SEEDING, STRAW OR HAY MULCH WILL BE SPREAD UNIFORMLY OVER THE SEEDBED. MULCH WILL BE SPREAD WITH BLOWER-TYPE MULCH EQUIPMENT OR GROUND SURFACE EXPOSED. MULCH WILL BE SPREAD WITH BLOWER-TYPE MULCH EQUIPMENT OR GROUND SURFACE EXPOSED. PACKER DISK MAY BE USED TO SPREAD. A DISK HARROW WITH THE DISK SET STRAIGHT OR A SPECIAL HARROW MAY BE USED TO SPREAD THE MULCH INTO THE SOIL.

VEGETATIVE SCHEDULE

SPESIES	RATE/1000 S.F.	DATE
COMMON BERMA GRASS	0.25#	APRIL 10 - JUNE 15
MULCHING - HAY W/ D2 & D3	GOOD COVER	---
MULCHING - AS D1	6"-10" DEPTH	---
TALL FESCUE GRASS	1.0#	OCTOBER 1 - OCTOBER 15
SPRINKLER SEEDING SEED READING MAY WITH OVERSEEDING WEEPING LOVEGRASS	1.0# / 0.2#	AUGUST 1 - MARCH 15 MARCH 15 - MAY 1

FERTILIZER MIX	
APPLICATION	N, #/ACRE P ₂ O ₅ , #/ACRE K ₂ O, #/ACRE N, TOP DRESSING
1st	60 - 80 120 - 180 120 - 180
2nd	60 120

MOIET

- GRASS AND MULCH ALL DISTURBED AREAS

HYDRAULIC SEEDING EQUIPMENT

WHEN HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS USED, NO GRADING AND SHAPING OR SEEDBED PREPARATION WILL BE REQUIRED. THE FERTILIZER, SEED AND WOOD CELLULOSE FIBER MUST BE COMBINED TO FORM A HOMOGENEOUS MIXTURE AND SPREAD UNIFORMLY OVER THE AREA WITHIN ONE HOUR AFTER MIXTURE IS MADE. STRAW OR HAY MULCH AND ASPHALT EMULSION WILL BE APPLIED WITH BLOWER-TYPE MULCH SPREADING EQUIPMENT WITHIN 24 HOURS AFTER SEEDING. MULCH SHALL BE APPLIED UNIFORMLY OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED.

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STRUCTURAL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION	CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Co	CONSTRUCTION CUT			A CRUSHED STONE PAD LOCATED AT THE CONSTRUCTION SITE, CUT TO PROVIDE A PROTECTIVE BARRIER TO PREVENT EROSION THEREBY PROTECTING PUBLIC STREETS	Sd1	SEDIMENT BARRIER			A BARRIER TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. IT MAY BE SANDBAGS, BALES OF STRAW OR HAY, OR LEGAL MULCH. THE BARRIERS ARE USUALLY TEMPORARY AND INEXPENSIVE.
Cd	CHECK DAM			A SMALL TEMPORARY BARRIER OR DAM CONSTRUCTED ACROSS A SMALL DRAINAGE DITCH OR AREA OF CONCENTRATED FLOW.	D2	DEVELOPED AREA STABILIZATION (PERMANENT VEGETATION)			ESTABLISHING PERMANENT VEGETATIVE COVER ON DEVELOPED AREAS, SUCH AS SOIL, OR LEGALES ON DISTURBED AREAS.
St	STORM DRAIN OUTLET PROTECTION			A PAVED OR SHORT SECTION OF RIPRAP CHANNEL AT THE OUTLET OF A STORM DRAIN SYSTEM PREVENTING EROSION FROM THE CONCENTRATED RUNOFF.	D3	DISTURBED AREA STABILIZATION (TEMPORARY SEEDING)			ESTABLISHING A TEMPORARY VEGETATIVE COVER ON GROWING SEEDINGS ON DISTURBED AREAS.
Ge	HAY BLANKET MATTING			PERMEABLE BERMES USED TO COVER SOIL OR ROCK TO PREVENT EROSION, TILTING, OR SLIDING	EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDED FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR THEN THE SEDIMENT SOURCE. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.				
Bf	BUFFER ZONE			UNSATURABLE MATERIALS SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH, GRADE, AND BEFORE BACKFILLING, ALL EXCAVATIONS SHALL BE CLEAN OF UNSATURABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH.					

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATION DESCRIBED HERE-IN BY MYSELF OR MY AUTHORIZED AGENT UNDER MY DIRECT SUPERVISION.

BY CHRISTOPHER J. WARREN REGISTERED GEORGIA ENGINEER NO. PE27375

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 MARIETTA, GA 30067
 404.471.4433
 Other # 471.4433

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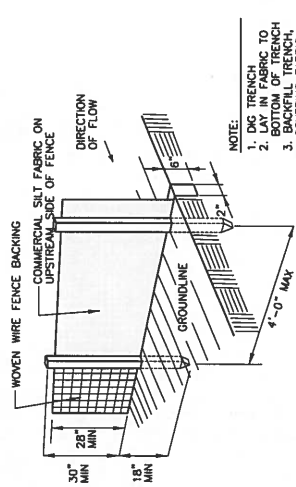
NO.	REVISION/DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	04/10/2017	JCS
2	REVISION/DESCRIPTION	DATE	BY
3	REVISION/DESCRIPTION	DATE	BY
4	REVISION/DESCRIPTION	DATE	BY
5	REVISION/DESCRIPTION	DATE	BY
6	REVISION/DESCRIPTION	DATE	BY
7	REVISION/DESCRIPTION	DATE	BY
8	REVISION/DESCRIPTION	DATE	BY
9	REVISION/DESCRIPTION	DATE	BY
10	REVISION/DESCRIPTION	DATE	BY

Designer: JCS Date: 04/10/2017
 Checker: JCS Date: 04/10/2017
 Utility Project Number: JCS88

Project Title
COMMODORE
 2315 NEW MACLAND ROAD
 POWDER SPRINGS, GA 30127

Municipal Communications
 Municipal Communications, LLC
 4100 Peachtree Center East, Suite 4111
 Atlanta, Georgia 30341
 Phone: (404) 995-1899
 Fax: (404) 995-1895

Drawing Scale:
 AS NOTED
 Drawing Title:
EROSION & SEDIMENT CONTROL DETAILS
 Drawing Number:
C04A



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN, EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
 5. ALL SILT FENCE MATERIALS MUST BE LISTED ON THE CURRENT STATE D.O.T. QUALIFIED PRODUCTS LIST.
- POSTS: STEEL (1.3 LB/FT MIN.)
 FENCE: WOVEN WIRE, 14 GA. 6" MAX. MESH OPENING.
 FILTER CLOTH: FILTER X, MIRAFL 100X, STABILINKA 1140N OR APPROVED EQUAL.
 PREFABRICATED UNIT: GEOPAB EMERGENCY OR APPROVED EQUAL.



ADDITIONAL COBB COUNTY NOTES:

- A. INDICATION THAT THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF BMP'S WITHIN 7 DAYS AFTER INITIAL CONSTRUCTION ACTIVITY BEGINS.
 - B. INDICATION THAT WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
 - C. DOCUMENTATION THAT THE ES&PC PLAN IS IN COMPLIANCE WITH WASTE DISPOSAL, SANITARY SEWER, OR SEPTIC TANK REGULATIONS DURING AND AFTER CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
 - D. PLEASE INCLUDE ON THE PLANS THE APPLICABLE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN CHECKLIST ESTABLISHED BY THE COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND DISTURBING ACTIVITY WAS PERMITTED.
 - E. IDENTIFY THE PROJECT RECEIVING WATERS AND DESCRIBE ALL ADJACENT AREAS INCLUDING STREAMS, LAKES, RESIDENTIAL AREAS, WETLANDS, ETC. WHICH MAY BE AFFECTED.
 - F. BMP'S FOR THE REMEDIATION OF ALL PETROLEUM SPILLS AND LEAKS.
- BMP FOR REMEDIATION OF PETROLEUM SPILLS AND LEAKS:**
- A. MAINTAIN CONSTRUCTION AREA USING "DRY CLEANUP METHODS" SUCH AS SWEEPING FOR REMOVAL OF LITTER, DEBRIS AND SEDIMENTS AND THE USE OF RAGS AND ABSORBENTS FOR LEAKS AND SPILLS.
 - B. SHOVEL OR SWEEP LOOSE, DRY DRILL CUTTINGS, DRIED CEMENT AND DUST, DRY DRILLING ADDITIVES (BARITE, BENTONITE, SANDS, GRAVEL), OR OTHER DEBRIS INTO DRUMS, IF CONTAMINATED, AND IF AN ACCEPTABLE LARGE GRASSY AREA EXISTING ONSITE, SPREAD CUTTINGS, ETC., INTO A 1/2 INCH LAYER OVER GRASS, SO THE MATERIAL WILL SETTLE INTO THE GRASS AND SOIL.
 - C. CONTAIN LIQUIDS PRODUCED DURING DRILLING, EQUIPMENT CLEANING/WASHDOWN OR WELL PURGING ACTIVITIES BY CONSTRUCTION A CONTAINMENT AREA ALLOWING UNCONTAMINATED WATERS TO SOAK INTO THE FLOORING. WATERS FROM THIS AREA SHOULD BE DISPOSAL, WASHWATER, SEDIMENT, MUD, FLOWING AGENTS, OR DEVELOPMENT WATER SHOULD NOT BE DISCHARGED TO A STORM DRAIN, CREEK, OR LAKE.
 - D. USE A SILT FENCING OR OTHER APPROPRIATE CONTROLS TO CONTAIN RUN-OFF FROM THE SITE, PARTICULARLY DURING THE WETTER MONTHS OF THE YEAR (SUMMER, RAINY WINTER MONTHS.).
 - E. OPEN EXCAVATIONS SHOULD ALSO BE COMPLETELY MARKED, AND EITHER COVERED OR FENCED BEFORE LEAVING THE SITE. THE PUBLIC SHOULD BE AWARE OF THE EXCAVATION AND PROTECTED. THE EXCAVATION SHOULD BE PROTECTED FROM RECEIVING RUNOFF FROM OTHER AREAS OF THE SITE.

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATION DESCRIBED HERE-IN BY MYSELF OR MY AUTHORIZED AGENT UNDER MY DIRECT SUPERVISION.

BY
 CHRISTOPHER J. WARREN REGISTERED GEORGIA ENGINEER NO. PE27375

EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST
STAND ALONE CONSTRUCTION PROJECTS

SWCD: _____

Project Name: _____
City/Country: _____

Address: _____
Date on Plans: _____

TO BE SHOWN ON ESRPC PLAN

- The applicable Erosion, Sedimentation and Pollution Control Plan Checklist established by the Commission as of January 1 of the year in which the land-disturbing activity was permitted.
(The completed Checklist must be submitted with the ESRPC Plan or the Plan will not be reviewed.)
- Level II certification number issued by the Commission, signature and seal of the certified design professional.
(Signature, seal and Level II number must be on each sheet pertaining to ESRPC plan or the Plan will not be reviewed.)
- Limits of disturbance shall be no greater than 50 acres at any one time without prior written authorization from the EPD District Office. If EPD approves the request to disturb 50 acres or more at any one time, the plan must include at least 4 of the BMPs listed in Appendix 1 of this checklist.
(A copy of the written approval by EPD must be attached to the plan for the plan to be reviewed.)
- The name and phone number of the 24-hour local contact responsible for erosion, sedimentation and pollution control.
- Provide the name, address and phone number of primary permittee.
- Note use and disturbed acreage of the project or phase under construction.
- Provide the GPS location of the construction exit for the site. Give the Latitude and Longitude in decimal degrees.
- Initial date of the Plan and the dates of any revisions made to the Plan including the entity who requested the revisions.
- Description of the nature of construction activity.
- Provide vicinity map showing site's relation to surrounding areas. Include designation of specific phase, if necessary.
- Identify the project receiving waters and describe all sensitive adjacent areas including streams, lakes, residential areas, wetlands, etc. which may be affected.
- Design professional's certification statement and signature that the site was visited prior to development of the ESRPC Plan as stated on page 15 of the permit.
- Design professional's certification statement and signature that the permittee's ESRPC Plan provides for an appropriate and comprehensive system of BMPs and sampling to meet permit requirements as stated on page 15 of the permit.
- Clearly note the statement that "The design professional who prepared the ESRPC Plan is to inspect the installation of the initial sediment storage requirements and perimeter control BMPs within 7 days after installation."
Clearly note the statement that "Non-exempt activities shall not be conducted within the 25 or 50-foot undisturbed stream buffers as measured from the point of unrestored vegetation without first acquiring the necessary variances and permits."

Plan Included Y/N

Page # N/A N/A

N/A N/A

N/A N/A

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Sheet No.	Date	By	Check
1	08/07/07	DAVID	DAVID
2	08/07/07	DAVID	DAVID

Sheet No.	Date	By	Check
3	08/07/07	DAVID	DAVID
4	08/07/07	DAVID	DAVID
5	08/07/07	DAVID	DAVID
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35	08/07/07	DAVID	DAVID

Project Title
COMMODORE
3215 NEW MACLAND ROAD
POWDER SPRINGS, GA 30127

Municipal Communications
Municipal Communications, LLC
Eighty-Arrow Circle, Suite 112
Covington, GA 30029
770.427.4444
770.427.4444

Drawn By:
AS NOTED

Owned by:
EROSION & SEDIMENT CONTROL CHECKLIST

Drawing Number
C04B

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BY: CHRISTOPHER J. WARREN REGISTERED GEORGIA ENGINEER NO. PE27375

DESIGNED BY	DATE
CHECKED BY	DATE
DRAWN BY	DATE
SCALE	
PROJECT NUMBER	

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Project Title
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3215 NEW MACLAND ROAD
POWDER SPRINGS, GA 30127

Municipal Communications
Aerial Communications, LLC
4775 Peachtree Center, Suite 4111
Atlanta, GA 30340
404.252.1800
FAX: 404.255.1805

Drawings Scale
AS SHOWN
EROSION & SEDIMENT CONTROL CHECKLIST
Drawing Number
C04C

26 Existing and proposed contour lines with contour lines drawn at an interval in accordance with the following:

Map Scale	Ground Slope	Contour Interval, ft.
1 inch = 100ft or larger scale	Flat 0 - 2% Rolling 2 - 8% Steep 8% +	0.5 or 1 1 or 2 2.5 or 10

N/A N/A

37 Use of alternative BMPs whose performance has been documented to be equivalent to or superior to conventional BMPs as certified by a Design Professional (unless disapproved by EPA or the Georgia Soil and Water Conservation Commission). Please refer to the Alternative BMP Guidance Document found at www.growco.org.

N/A N/A

38 Delineation of the applicable 25-foot or 50-foot undisturbed buffers adjacent to state waters and any additional buffers required by the Local Issuing Authority. Clearly note and delineate all areas of impact.

N/A N/A

39 Delineation of on-site wetlands and all state waters located on and within 200 feet of the project site.

N/A N/A

40 Delineation and average of contributing drainage basins on the project site.

N/A N/A

41 Provide hydrology study and maps of drainage basins for both the pre- and post-developed conditions.*

N/A N/A

42 An estimate of the runoff coefficient or peak discharge flow of the site prior to and after construction activities are completed.

N/A N/A

43 Storm-decain pipe and weir velocities with appropriate outlet protection to accommodate discharges without erosion. Identify/Delineate all storm water discharge points.

N/A N/A

44 Soil series for the project site and their delineation.

N/A N/A

45 The limits of disturbance for each phase of construction.

N/A N/A

46 Provide a minimum of 67 cubic yards of sediment storage per acre drained using a temporary sediment basin, retrofitted detention pond, and/or excavated inlet sediment traps for each common drainage location. Sediment storage volume must be in place prior to and during all land disturbance activities until final stabilization of the site has been achieved. A written justification explaining the decision to use equivalent controls when a sediment basin is not attainable must be included in the plan for each common drainage location in which a sediment basin is not provided. A written justification as to why 67 cubic yards of storage is not attainable must also be given. Worksheets from the Manual included for structural BMPs and all calculations used by the storage design professional to obtain the required sediment when using equivalent controls. When discharging from sediment basins and impoundments, permittees are required to utilize outlet structures that withdraw water from the surface, unless infeasible. If outlet structures that withdraw water from the surface are not feasible, a written justification explaining this decision must be included in the plan.

N/A N/A

47 Location of Best Management Practices that are consistent with and no less stringent than the Manual for Erosion and Sediment Control in Georgia. Use uniform coding symbols from the Manual, Chapter 6 with legend.

N/A N/A

48 Provide detailed drawings for all structural practices. Specifications must, at a minimum, meet the guidelines set forth in the Manual for Erosion and Sediment Control in Georgia.

N/A N/A

49 Provide vegetative plan, noting all temporary and permanent vegetative practices. Include species, planting dates and seeding, fertilizer, lime and mulching rates. Vegetative plan shall be site specific for appropriate time of the year that seeding will take place and for the appropriate geographic region of Georgia.

N/A N/A

*If using this checklist for a project that is less than 1 acre and not part of a common development but within 200 ft of a perennial stream the * checklist items would be N/A. Effective January 1, 2015

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BY CHRISTOPHER J. WARREN REGISTERED GEORGIA ENGINEER NO. PE27375

AVE Consultant:

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MARIETTA GA 30067
Office # 4783 4443

NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR REVIEW	08/24/17	Cap	MMW/17
2	Submittal/Revision			
3				
4				
5				
6				
7				
8				
9				
10				

REVISIONS TO THIS DRAWING SHALL BE MADE ON THIS DRAWING. ANY CHANGES TO THE ORIGINAL DRAWING SHALL BE MADE ON THIS DRAWING. ANY CHANGES TO THE ORIGINAL DRAWING SHALL BE MADE ON THIS DRAWING.

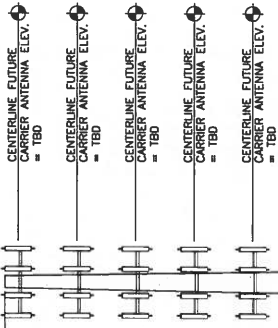
Drawn by: MMW Date: 08/24/17
 Checked by: Cap Date: 08/24/17
 Project Number: 103308L

Project Title: **COMMODORE**
 3215 NEW HAVEN ROAD
 POWDER SPRINGS, GA 30127

Municipal Communications
 Municipal Communications, LLC
 4111 Peachtree Dunwoody Avenue, Suite 411
 Atlanta, GA 30305
 Phone: (404) 965-1885
 Fax: (404) 965-1885

Drawing Scale: **AS SHOWN**
 Drawing Title: **TOWER ELEVATION**

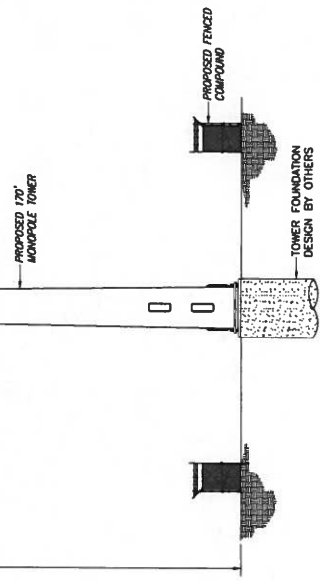
Drawing Number: **C05**



TOWER ELEVATION SHOWN IS FOR TOWER DESIGN INFORMATION FOR THIS PROJECT WAS NOT AVAILABLE TO INFINIGY ENGINEERING DURING PREPARATION OF CONSTRUCTION DRAWINGS.

NOTE:
 INFINIGY ENGINEERING HAS NOT EVALUATED THE TOWER OR LOADING FOR THIS SITE. ANY DESIGN OR CONSTRUCTION REQUIREMENTS FOR ITS STRUCTURAL INTEGRITY REFER TO STRUCTURAL ANALYSIS BY OTHERS PRIOR TO ANY CONSTRUCTION.

TOP OF PROPOSED MONOPOLE TOWER (TOP OF STEEL) = 417'0" AGL



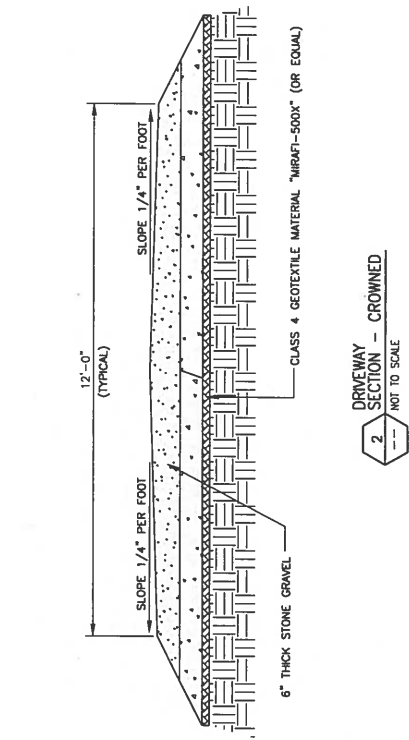
1 TOWER ELEVATION
 NOT TO SCALE

NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR REVIEW	03/26/07		
2	ISSUED FOR CONSTRUCTION	03/26/07		

Client: COMMODORE
 2516 NEW HAVEN ROAD
 POWERS SPRINGS, GA 30127

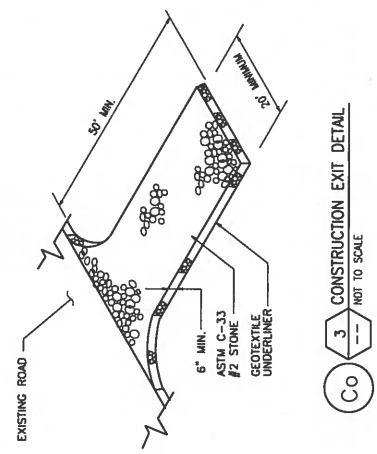
Municipal Communications
 Municipal Communications, LLC
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 Atlanta, GA 30325
 (404) 595-1885

Drawing Title: AS NOTED
 Drawing No: CIVIL DETAILS
 Drawing Number: C06



1 SECTION THROUGH COMPOUND
 NOT TO SCALE

2 DRIVEWAY SECTION - CROWNED
 NOT TO SCALE



3 CONSTRUCTION EXIT DETAIL
 NOT TO SCALE

AVE CONSULTING
INFINIGY8
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 The solutions are endless
 2255 SICKLES MILL ROAD, SUITE 130
 FARMINGTON, CT 06032
 (860) 671-4433
 Fax: (860) 671-4433

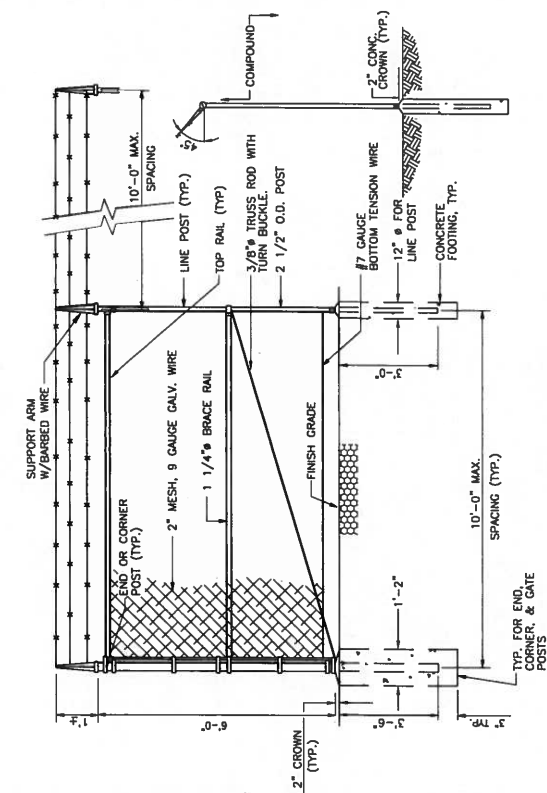
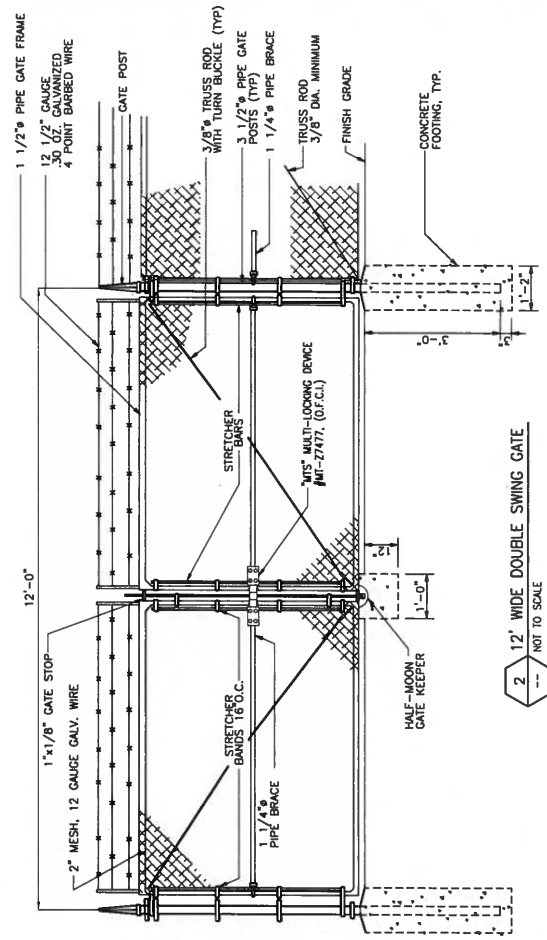
NO.	DATE	DESCRIPTION	BY	CHKD.
1	08/20/12	ISSUED FOR REVIEW	CAF	CAF
2	08/20/12	ISSUED FOR REVIEW	CAF	CAF
3	08/20/12	ISSUED FOR REVIEW	CAF	CAF
4	08/20/12	ISSUED FOR REVIEW	CAF	CAF
5	08/20/12	ISSUED FOR REVIEW	CAF	CAF
6	08/20/12	ISSUED FOR REVIEW	CAF	CAF
7	08/20/12	ISSUED FOR REVIEW	CAF	CAF
8	08/20/12	ISSUED FOR REVIEW	CAF	CAF
9	08/20/12	ISSUED FOR REVIEW	CAF	CAF
10	08/20/12	ISSUED FOR REVIEW	CAF	CAF

Drawn: CAF Date: 08/20/12
 Checked: CAF Date: 08/20/12
 Heavy Project Number: 103000

Project Title
COMMODORE
 3216 NEW MANLAND ROAD
 POWDER SPRINGS, GA 30127

Municipal Communications
 Municipal Communications, LLC
 1000 Peachtree Street, Suite 411
 Atlanta, GA 30309
 Phone: (404) 395-1889
 Fax: (404) 395-1885

Drawing Scale:
AS SHOWN
 Drawing Title
CIVIL DETAILS
 Drawing Number
G07

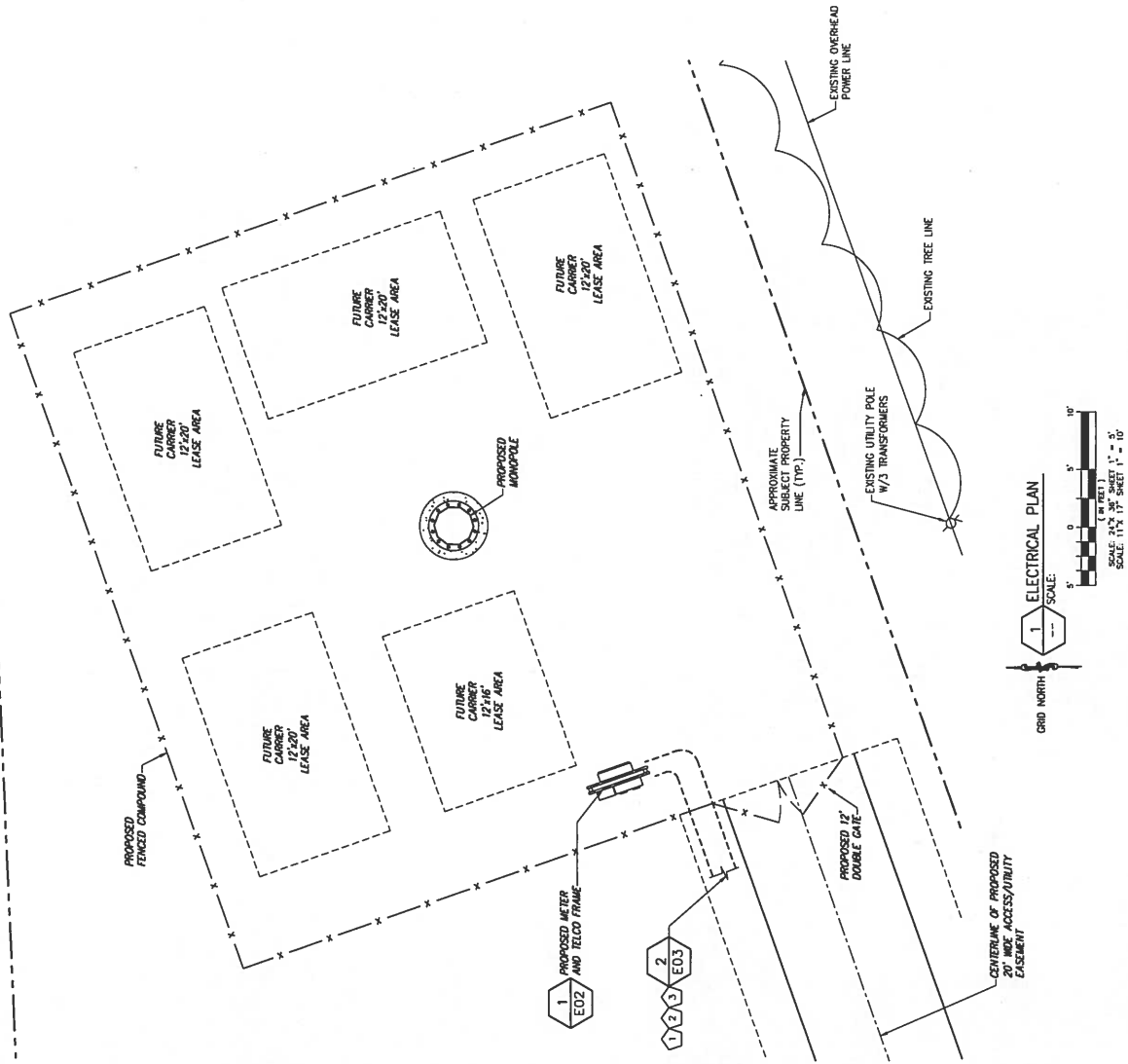


CODED DRAWING NOTES:

- ① CONTRACTOR TO PROVIDE AND INSTALL 4" PAC CONDUIT WITH PULLWIRE FROM TELCO SOURCE TO TELCO BOX.
- ② CONTRACTOR TO PROVIDE AND INSTALL 4" PAC CONDUIT WITH PULLWIRE FROM POWER SOURCE TO MULTI METER FRAME. (CONTRACTOR TO NOTIFY ENGINEER IF ROUTE EXCEEDS 100')
- ③ COORDINATE EXACT CONDUIT ROUTING/DEMARC WITH CONSTRUCTION MANAGER AND UTILITY COMPANIES.

GENERAL ELECTRICAL NOTES

- 1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE ELECTRICAL STANDARD SPECIFICATIONS.
- 2. COORDINATE ALL CONDUIT STUB-UP LOCATIONS WITH UTILITY COMPANY.
- 3. PROVIDE WEATHERPROOF SEALS FOR ALL CONDUIT STUB-UPS.
- 4. ALL STUBBED OUT CONDUIT SHALL BE TURNED UP AND CAPPED 6" ABOVE GRADE.
- 5. POWER COMPANY SHALL TERMINATE THE CONDUIT WITH A WEATHERPROOF SEAL SUPPLIED BY POWER COMPANY AT THE UTILITY METER.
- 6. ALL CONDUCTORS SHALL BE COPPER. ALUMINUM CONDUCTORS SHALL NOT BE USED.
- 7. ALL CONDUCTORS SHALL BE PREPARED FOR TERMINATION, COILED BAGGED AND SECURED FOR FUTURE CONNECTION OF OTHERS.
- 8. ALL CONDUCTORS TERMINATION IN THE COMMUNICATION EQUIPMENT SHALL HAVE A MINIMUM OF 8"-0" OF SLACK FOR INSTALLATION INTO EQUIPMENT.



AVE Consultant
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 The solutions are endless
 2255 GOSWELL MILL ROAD, SUITE 130
 MARLBOROUGH, MA 01923
 OFFICE: (978) 644-4433

NO.	REVISION	DATE	BY	CHKD.

DATE: 08/07/12
 DRAWN BY: JAS/EDL
 CHECKED BY: JAS/EDL
 DATE: 08/07/12
 PROJECT NUMBER: 120300L

Project Title: **COMMODORE**
 3215 NEW HAVEN ROAD
 POWDER SPRINGS, GA 30127

Municipal Communications
 Municipal Communications, LLC
 4700 Peachtree Dunwoody Road, Suite 411
 Atlanta, GA 30309
 (404) 479-9999
 FAX: (404) 395-1885

Drawing Scale: **AS SHOWN**
 Drawing Title: **ELECTRICAL PLAN**
 Drawing Number: **E01**



GENERAL NOTES:

- 1-ALL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE, STATE BUILDING CODES AND THE LOCAL BUILDING CODES. ALL COMPONENTS SHALL BE U.L. LISTED.
- 2-REFER TO SITE LAYOUT PLAN FOR THE EXACT LOCATION OF H-FRAME.
- 3--CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANY FOR METER.
- 4--CONTRACTOR TO PROVIDE AND INSTALL METER SOCKET.
- 5--CONTRACTOR TO LOCATE METER RACK TO ENSURE WORKING SPACES REQUIRED BY THE NEC (ART. 110.26), STATE, OR LOCAL CODES ARE MAINTAINED BETWEEN FRONT OF ENCLOSURES AND FENCE.

4 GANG METER CENTER, S.E. RATED, U.L. LISTED, NEMA 3R ENCLOSURE.

1 E03

3'-0" X 3'-0" TELCO CABINET (NEMA 3R RATED)

METER SOCKET--UL LISTED, NEMA 3R ENCLOSURE

TELCO EQUIPMENT CABINET

END CAP

3" SCH. 40 GALV. PIPE (TYPICAL)

4" EMPTY SUPPLY CONDUIT FOR TELCO SERVICE (INSIDE)

4" EMPTY SUPPLY CONDUIT FOR TELCO SERVICE (OUTSIDE)

2/0 AWG BARE TINNED SOLID COPPER GROUND IN 1/2" PVC C

3" EMPTY CONDUIT FOR UNDERGROUND ELECTRICAL SERVICE (OUTSIDE).

EXOTHERMIC WELD THAT IS A MINIMUM OF 6" ABOVE FINISHED GRADE

2 AWG SOLID TINNED COPPER, CONNECT TO NEAREST GROUND RING AND CROWDED TO POST (TYPICAL BOTH PIPES)

CONCRETE MIN. 30 DAY STRENGTH OF 3000 PSI

5/8" x 10" COPPERCLAD STEEL DRIVEN GROUND ROD

18" MIN.

2 AWG SOLID TINNED COPPER

NOTE:
1. CONSTRUCT 50 CONCRETE FOOTING EXTENDS 6" BELOW FROST LINE AND IN COMPLIANCE WITH ALL LOCAL AND STATE CODES.

- 6--SHOW LOCATION (INCLUDING DIMENSIONS) OF ALL CAPPED UNDERGROUND CONDUIT ON FINAL AS-BUILT DRAWINGS SUBMITTED TO OWNER.
- 7--COORDINATE EXACT LOCATION OF UNDERGROUND FEEDERS AND CIRCUITRY WITH THE OWNER.
- 8--CONTRACTOR SHALL COORDINATE WITH LOCAL ELECTRICAL AUTHORITY HAVING JURISDICTION (A-J) AND OTHER TRADES TO DETERMINE "FROST" LINE, AND TYPES OF RACEWAYS REQUIRED FOR INSTALLATION.
- 9--ALL CONDUITS ABOVE GROUND SHALL BE GALVANIZED CONDUIT.

GENERAL ELECTRICAL NOTES

1. PROVIDE 1/4" GROUND BAR IN TELCO BOX SUITABLE FOR CONNECTING TO #6 AWG STRANDED WIRE. PROVIDE 3'-0" SECTION OF #6 WIRE FOR USE BY TELEPHONE COMPANY.
2. PROVIDE 3'-0" TELCO DISTRIBUTION PANEL (MINIMUM 50 PAIR TERMINALS) MOUNTED WEST SIDE OF METER RACK ON EQUIPMENT SUPPORT FRAME OPPOSITE OF UTILITY METERS.
3. COORDINATE METER ENCLOSURE AND FUSED/BREAKER DISCONNECT WITH LOCAL UTILITY COMPANY PRIOR TO ORDERING AND INSTALLATION.
4. METER ENCLOSURE SHALL BE SQUARE D OR APPROVED EQUIVALENT. ALL METER ENCLOSURES SHALL BE ADJUSTING BRACKETS SUITABLE FOR OUTDOOR INSTALLATION. ALL METER ENCLOSURES SHALL BE MOUNTED TO THE VERTICAL UNISTRUT ATTACHED TO THE EQUIPMENT SUPPORT FRAME.
5. DETAIL DEPICTS SQUARE D PRODUCTS, AS DESCRIBED ABOVE. ACTUAL DIMENSIONS MAY VARY DEPENDING ON INSTALLED EQUIPMENT.
6. CONNECT NEUTRAL TERMINAL IN DISCONNECTING DEVICE TO SERVICE ENTRANCE GROUND ROD.
7. REFER TO ELECTRICAL SITE PLAN AND POWER & TELEPHONE DIAGRAM FOR CONDUIT AND CONDUCTOR REQUIREMENTS.
8. ALL WORK SHALL CONFORM TO NATIONAL ELECTRICAL CODE (NEC) AND THE LOCAL BUILDING CODES. ALL COMPONENTS SHALL BE U.L. APPROVED.
9. THE SERVICE ENTRANCE GROUND WIRE MUST GO DIRECTLY TO THE SERVICE ENTRANCE GROUND ROD WITHOUT CONNECTING TO ANYTHING ELSE. IF THE SERVICE ENTRANCE GROUND ROD IS PART OF THE EXISTING FOUNDATION THIS WIRE MUST BE CONNECTED TO THIS GROUND ROD. ALSO, OTHER SERVICE ENTRIES TO THE FOUNDATION MUST CONNECT THIS GROUND ROD TO THE GROUND ROD.
10. THESE CONDUITS WERE SHOWN FOR DESIGN CONCEPT ONLY. CONTRACTOR TO CONFIRM QUANTITY AND SIZE CONDUIT WITH THE ELECTRIC POWER UTILITY.
11. CONTRACTOR TO CONFIRM PVC SCHEDULE 40 CAN BE USED ON ALL RUNS.

1 H-FRAME DETAIL NOT TO SCALE

AE CONSULTING
FROM ZERO TO INFINITY
2255 SHELBY MILLS ROAD, SUITE 130
MARIETTA, GA 30067
Phone # 770-444-8333

NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	08/07/11
2	REVISION
3	REVISION
4	REVISION
5	REVISION
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9	REVISION
10	REVISION
11	REVISION
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14	REVISION
15	REVISION
16	REVISION
17	REVISION
18	REVISION
19	REVISION
20	REVISION

UNAPPROVED ALTERATIONS TO THIS DRAWING ARE PROHIBITED. ANY CHANGES TO THIS DRAWING SHALL BE MADE BY THE ORIGINAL DESIGNER.
APPROVED FOR LOCAL UTILITY COMPANY

DATE: 08/07/11
BY: [Signature]
CHKD.: [Signature]

Utility Project Number: J03-580

Project Title: COMMODORE
3216 NEWNACK AND ROAD
POWDER SPRINGS, GA 30127

Municipal Communications
Municipal Communications, LLC
1000 Peachtree Avenue, Suite 411
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Phone: (404) 985-1885
Fax: (404) 985-1885

Drawing Scale: AS SHOWN
Drawing Title: UTILITY RACK DETAILS
Drawing Number: E02

NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR REVIEW	08/27/07	JAM	JAM
2	ISSUED FOR REVIEW	08/27/07	JAM	JAM
3	ISSUED FOR REVIEW	08/27/07	JAM	JAM
4	ISSUED FOR REVIEW	08/27/07	JAM	JAM
5	ISSUED FOR REVIEW	08/27/07	JAM	JAM
6	ISSUED FOR REVIEW	08/27/07	JAM	JAM
7	ISSUED FOR REVIEW	08/27/07	JAM	JAM
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9	ISSUED FOR REVIEW	08/27/07	JAM	JAM

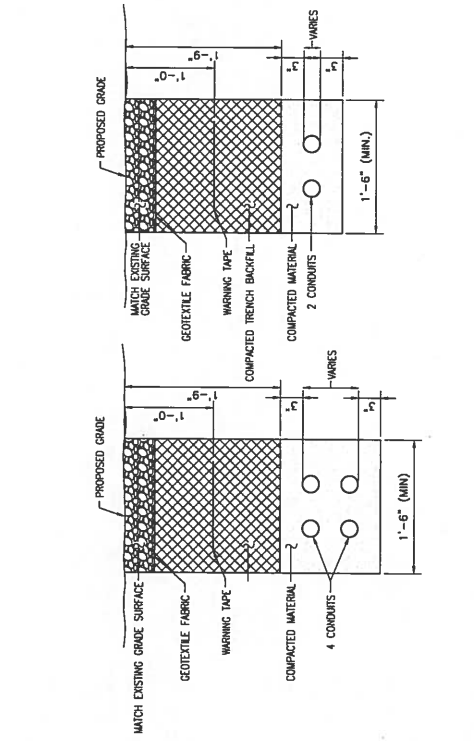
MANUFACTURED ALTERNATIVE OR MODIFIED MATERIALS SHALL BE APPROVED BY THE LOCAL UTILITY COMPANY.
 ALL DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE.

Drawn: JAM Date: 08/27/07
 Designer: JAM Date: 08/27/07
 Checker: JAM Date: 08/27/07
 Energy Project Number: J03-388

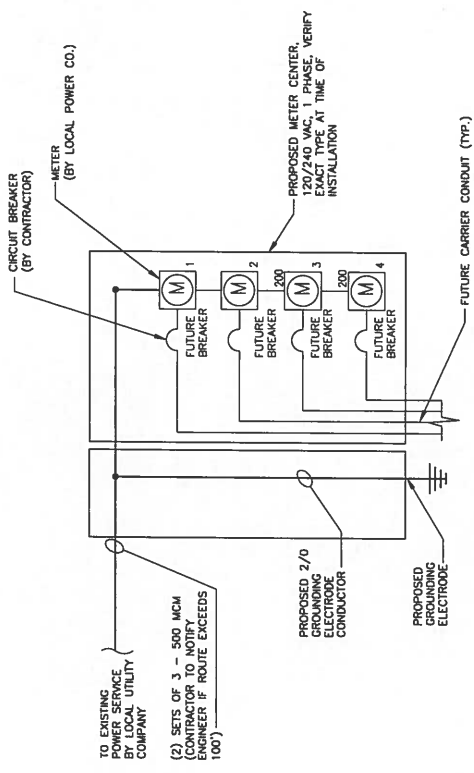
Project Title: **COMMODORE**
 3215 NEW MACLAND ROAD
 POWDER SPRINGS, GA 30127

Municipal Communications
 Municipal Communications, LLC
 3155 Peachtree Rd, Suite 411
 Atlanta, GA 30328
 (404) 487-8800
 (404) 487-8801

Drawing Scale: AS NOTED.
 Drawing Title: **ELECTRICAL DETAILS**
 Drawing Number: **E03**



2 UTILITY TRENCH DETAIL
 NOT TO SCALE



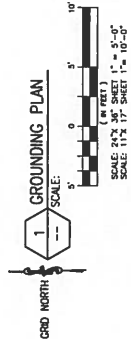
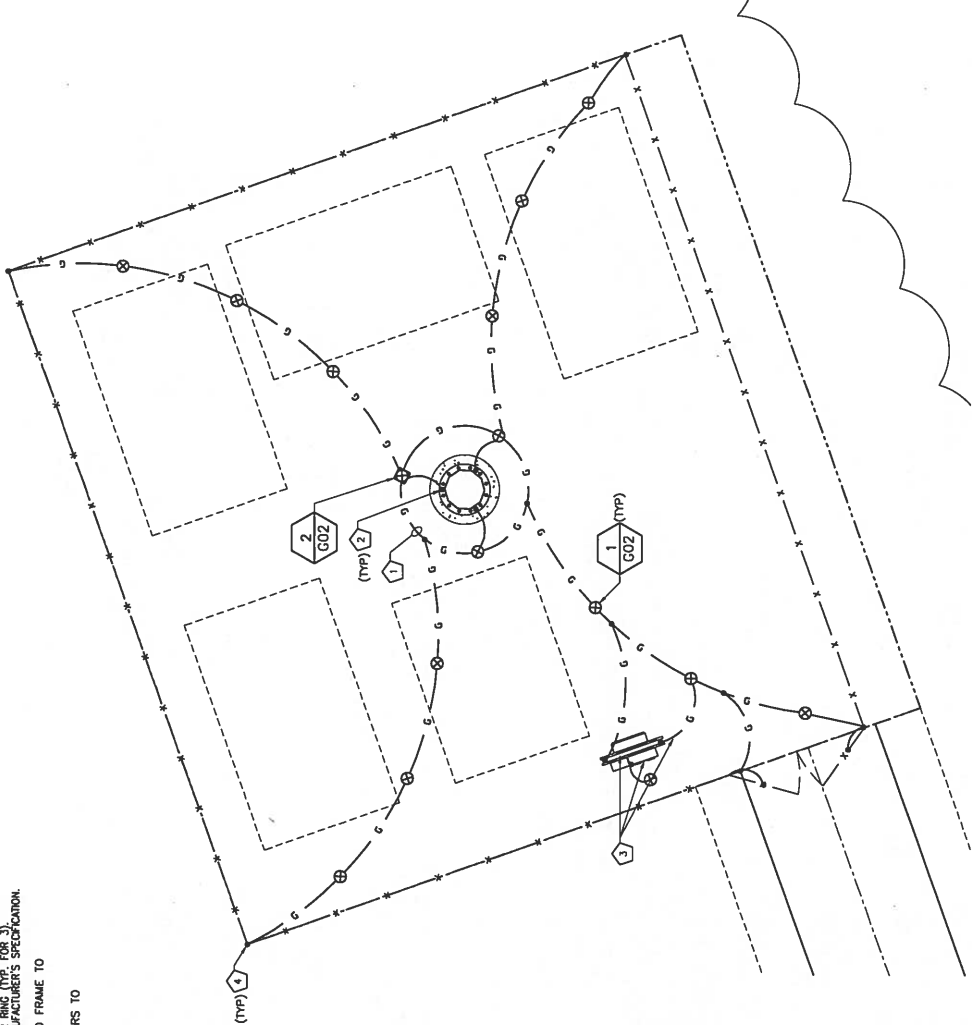
1 ELECTRICAL SINGLE ONE-LINE DIAGRAM
 NOT TO SCALE

GROUNDING NOTES

1. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND ALL OTHER APPLICABLE LOCAL CODES
2. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION TO AVOID REVENUE LOSS WITH LOSS OF CONTINUITY TO THE GROUNDING SYSTEM ON DAMAGE TO THE CONDUIT.
3. ALL GROUND CONNECTIONS BELOW GRADE SHALL BE EXOTHERMIC (CROWWELD).
4. ALL GROUND CONNECTIONS ABOVE GRADE SHALL BE FORMED USING 2-HOLE LUGS AND TWO (2) HIGH PRESS CRIMPS.
5. ALL EXOTHERMIC MECHANICAL CONNECTIONS TO THE GROUND RODS SHALL START AT THE TOP & HAVE A VERTICAL SEPARATION OF 6" FOR EVERY ADDITIONAL CONNECTION.
6. ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
7. ALL EXTERIOR GROUND CONDUCTORS SHALL BE #2 SOLID AIR TIGHT PLATED COPPER UNLESS OTHERWISE INDICATED.
8. GROUND RODS SHALL BE STAINLESS STEEL OR COPPER CLAD STEEL, 5/8" 10-FT. LONG, AND SHALL BE DRIVEN VERTICALLY WITH THEIR TOPS 36" BELOW FINAL GRADE.
9. CONNECTIONS TO THE GROUND BARS SHALL NOT BE DOUBLED UP OR STACKED. BACK TO BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BAR ARE PERMITTED.
10. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED.
11. MAXIMUM RESISTANCE OF THE COMPLETED GROUND SYSTEM SHALL NOT EXCEED 10 OHMS.

CODED DRAWING NOTES

- 1 PROVIDE #2 COPPER GROUND RING (MIN. 1"=6" FROM OUTSIDE EDGE OF TOWER FOUNDATION AND 3/8") BORED AT MINIMUM 36" BELOW GRADE.
- 2 CONNECT TOWER BASE TO GROUND ROD IN TOWER RING (TYP. FOR 3), CAPPED TO TOWER BASE PLATE OR AS PER MANUFACTURER'S SPECIFICATION.
- 3 CONNECT MULTI-TENANT POWER AND TELCO FRAME TO PROPOSED COMPOUND GROUND RING.
- 4 BOND PROPOSED PERIMETER FENCE CORNERS TO GROUND RING.



NO.	DESCRIPTION	DATE	BY	CHKD.
1	ISSUED FOR REVIEW	08/27/02	JAS	JAS
2	SUBMIT FOR PERMIT	08/27/02	JAS	JAS
3	ISSUED FOR REVIEW	08/27/02	JAS	JAS
4	SUBMIT FOR PERMIT	08/27/02	JAS	JAS

Energy Project Number
J02308

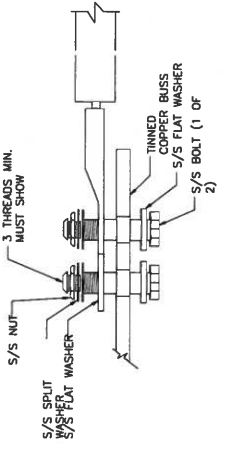
Rev	Revised / Description	Date
1	ISSUED FOR REVIEW	04/26/2017
2	ISSUED FOR REVIEW	04/26/2017
3	ISSUED FOR REVIEW	04/26/2017

UNAUTHORIZED ALTERATION OF ANY INFORMATION CONTAINED HEREIN IS STRICTLY PROHIBITED.
 Designer: ... Date: 03/27/17
 Checker: ... Date: 03/27/17
 Energy Project Number: 1203-300

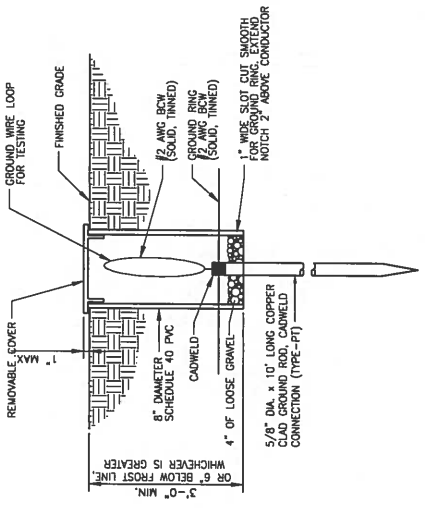
Project Title: **COMMODORE**
 2376 NEW MACLAND ROAD
 PORTER SPRINGS, CA 95127

Municipal Communications
 Municipal Communications, LLC
 4188 Piedmont Rd
 Alhambra, CA 91806
 (626) 444-1111
 (626) 444-1112
 FAX: (626) 444-1185

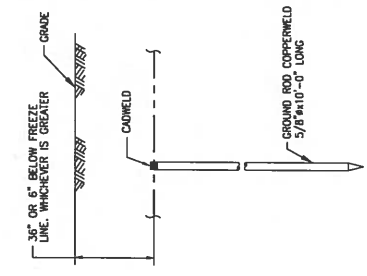
Drawing Scale: AS SHOWN
 Drawing Title: **GROUNDING DETAILS**
 Drawing Number: **G02**



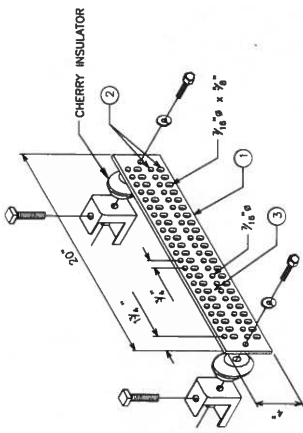
1. ALL HARDWARE 18-8 STAINLESS STEEL INCLUDING BELLEVEUES. COAT ALL SURFACES WITH ANTI OXIDATION COMPOUND BEFORE MATING.
2. ALL EXPOSED, EASILY ACCESSIBLE GROUND BARS SHALL BE TAGGED "DO NOT DISCONNECT"
3. COAT ALL BARRELS WITH ANTI-OXIDATION COMPOUND BEFORE CRIMPING.



2 INSPECTION SLEEVE DETAIL
NOT TO SCALE

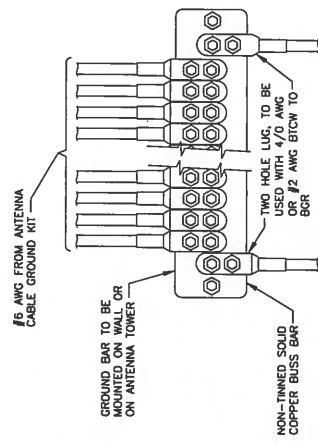


1 COPPER-CLAD STEEL GROUND ROD
NOT TO SCALE



- LEGEND:**
- 1 TINNED COPPER GROUND BUSH BAR, 1/4" X 4" X 20", WITH NON-INSULATED MOUNTING KIT, OR EQUIVALENT.
 - 2 GROUND BAR SHALL BE SIZED TO ACCOMMODATE ALL GROUNDING CONNECTIONS REQUIRED PLUS PROVIDE 50% SPARE CAPACITY.
 - 3 APPLY CONDUCTIVE LUBRICANT (NO-OX COMPOUND OR APPROVED EQUIVALENT) TO EXPOSED AREA OF GROUND BAR.

4 STANDARD GROUND BAR
NOT TO SCALE



5 INSTALLATION OF GROUND WIRE TO GROUND BAR
NOT TO SCALE

NOTE: CONTRACTOR TO UTILIZE KOPPEL-SHELD (THOMAS & BETTS) OR EQUIVALENT ON ALL LUG CONNECTIONS

ALL CONNECTIONS

FROM ZERO TO INFINITY
the solutions are endless

INFINIGY8
2255 SEVELL MILL ROAD, SUITE 130
MARIETTA, GA 30067
CITY 404.871.4443

IN THE CITY OF ATLANTA, GA, THE CITY ENGINEER HAS REVIEWED THIS DRAWING FOR CONFORMANCE WITH THE CITY OF ATLANTA'S STANDARD SPECIFICATIONS FOR PUBLIC WORKS, AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE CITY OF ATLANTA'S STANDARD SPECIFICATIONS FOR PUBLIC WORKS.

No.	Revised	Description	Date
1	08/07/11	ISSUED FOR REVIEW	08/07/11
2	08/07/11	FOR REVIEW	08/07/11
3	08/07/11	FOR REVIEW	08/07/11
4	08/07/11	FOR REVIEW	08/07/11
5	08/07/11	FOR REVIEW	08/07/11
6	08/07/11	FOR REVIEW	08/07/11
7	08/07/11	FOR REVIEW	08/07/11
8	08/07/11	FOR REVIEW	08/07/11
9	08/07/11	FOR REVIEW	08/07/11
10	08/07/11	FOR REVIEW	08/07/11

Drawn: JLB Date: 08/07/11
 Checked: JLB Date: 08/07/11
 Checked: JLB Date: 08/07/11
 Safety Project Number: 100300








Project Title
COMMODORE
 1214 NEW MACLAND ROAD
 POWDER SPRINGS, GA 30127

Municipal Communications
 Municipal Communications, LLC
 1000 Peachtree Street, Suite 411
 Atlanta, GA 30309
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 Fax: (404) 996-1885

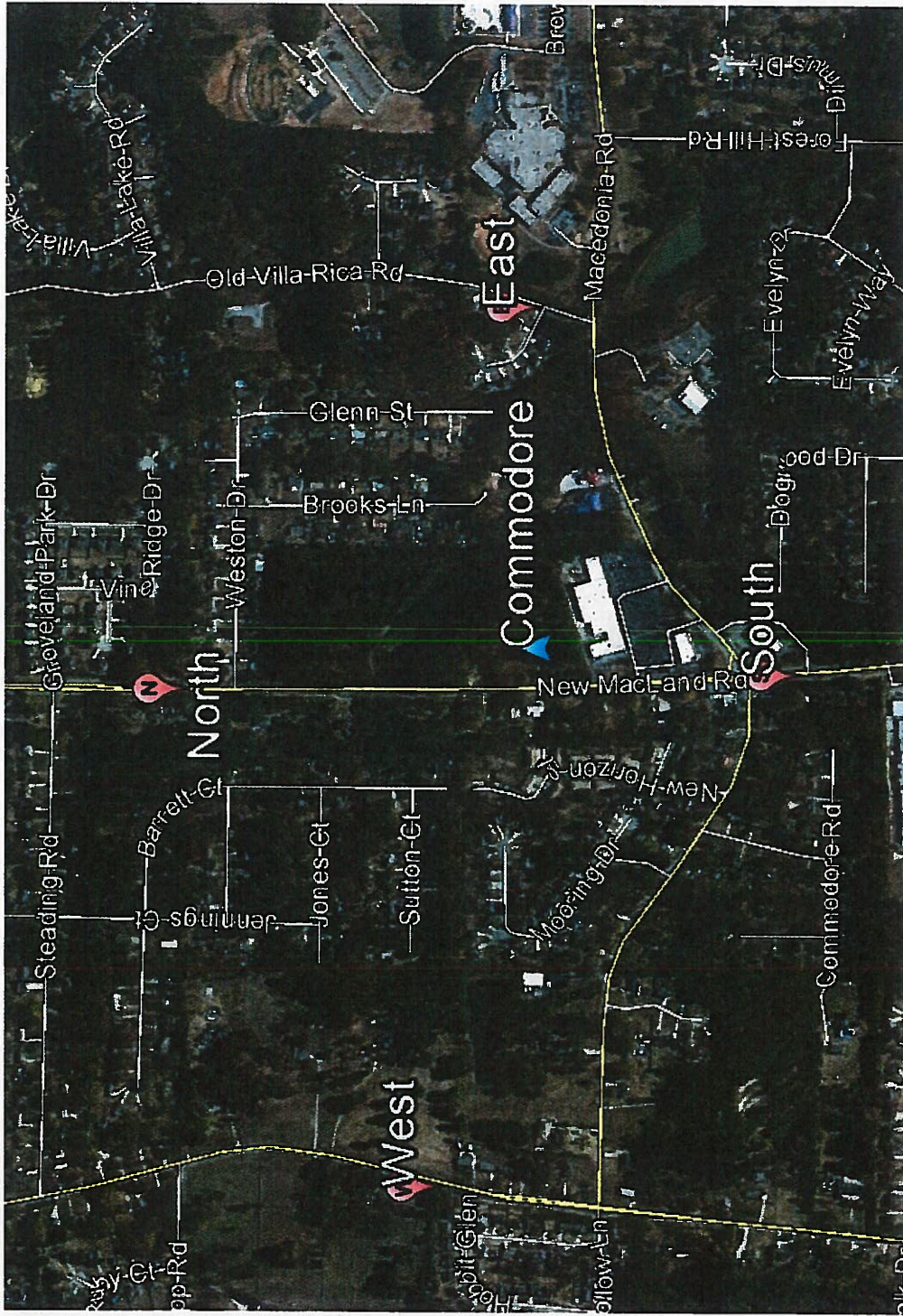
Drawing Scale:
 AS SHOWN
 Drawing Title

GROUNDING DETAILS

Drawing Number
G03

CADWELD CONNECTIONS OR APPROVED EQUAL	BURNDY CONNECTIONS OR APPROVED EQUAL
 PARALLEL HORIZONTAL CONDUCTORS PARALLEL THROUGH CONNECTION OF HORIZONTAL CABLES TYPE P1	 BOND JUMPER WITH GREEN STRANDED INSULATED TYPE 2-YA-2
 HORIZONTAL STEEL SURFACE TO FLAT STEEL SURFACE OR HORIZONTAL PIPE TYPE HS	 COPPER LUGS TWO HOLE—LONG BARREL TYPE YA-2
 THROUGH CABLE TO GROUND ROD THROUGH CABLE TO TOP OF GROUND ROD TYPE GT	 VERTICAL STEEL SURFACE CABLE DOWN AT 45° TO VERTICAL STEEL SURFACE INCLUDING PIPE TYPE VS
 VERTICAL PIPE RANGE OF VERTICAL PIPES TYPE VS	

1 GROUNDING CONNECTIONS
 NOT TO SCALE



Sitename: Commodore
 170' Monopole
 New MacL and Road
 Powder Springs, GA

Cobb County

Tower coordinates

33-52-31.97 N, 84-40-32.25 W



View from the south
33-52-21.10 N, 84-40-34.19 W



Sitename: Commodore

170' Monopole

New Macland Road

Powder Springs, GA

Cobb County



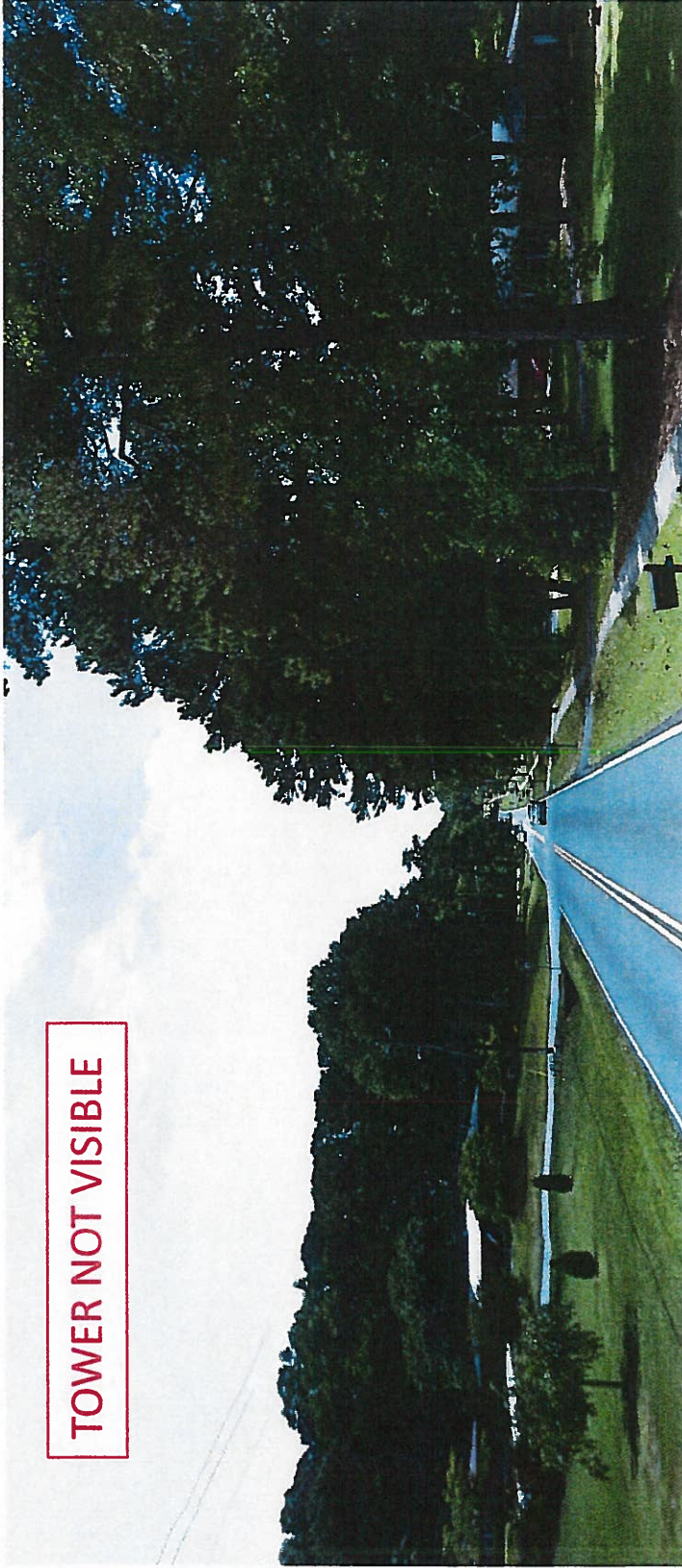
Photosim view from the south
33-52-21.10 N, 84-40-34.19 W



Sitename: Commodore
170' Monopole
New Macland Road
Powder Springs, GA Cobb County



View from the north
33-52-50.05 N, 84-40-35.12 W



Sitename: Commodore
170' Monopole
New Macland Road
Powder Springs, GA Cobb County



View from the east

33-52-33.44 N, 84-40-13.19 W



TOWER NOT VISIBLE

Sitename: Commodore

170' Monopole

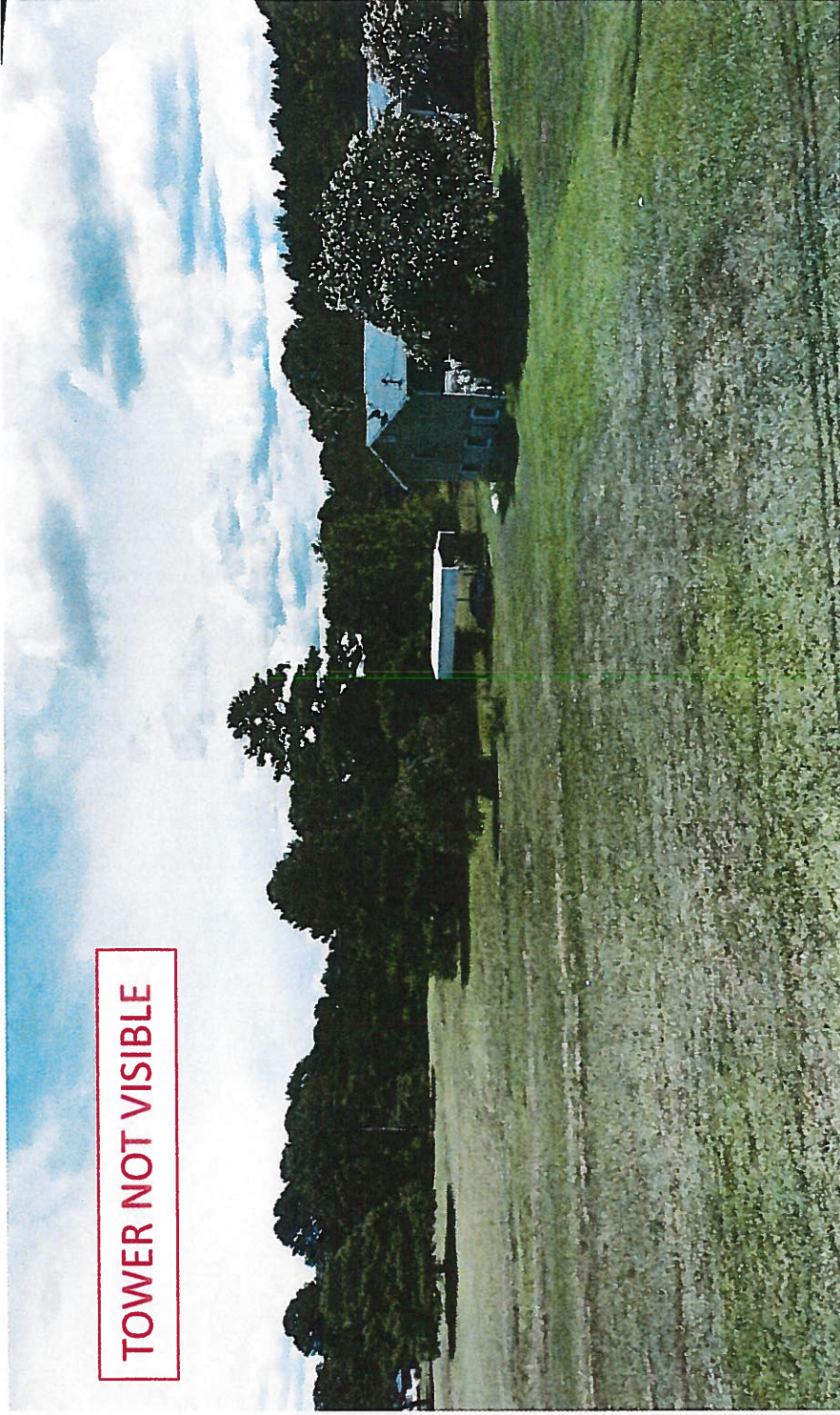
New Macland Road

Powder Springs, GA

Cobb County



View from the west
33-52-38.09 N, 84-41-03.26 W



Sitename: Commodore
170' Monopole
New Macland Road
Powder Springs, GA Cobb County

